



## **PART C – CITY OF CANNING**

### **1. Declarations of Due Consideration**

### **2. Disclosure of Interests**

### **3. Form 1 DAP Applications**

- 3.1 Lot 786 (No.18) Division Street, Welshpool - Warehouse/Storage and Office building, and use no listed (third party digital format sign) – DAP/25/02918

### **4. Form 2 DAP Applications**

Nil.

### **5. Section 31 SAT Reconsiderations**

Nil.

**Part C – Item 3.1 - LOT 786 (NO. 18) DIVISION STREET,  
WELSHPOOL - WAREHOUSE/STORAGE AND OFFICE  
BUILDING, AND USE NOT LISTED (THIRD PARTY DIGITAL  
FORMAT SIGN)**

**Form 1 – Responsible Authority Report  
(Regulation 12)**

<b>DAP Name:</b>	Metro Inner DAP
<b>Local Government Area:</b>	City of Canning
<b>Applicant:</b>	Ben Carter, Pinnacle Planning
<b>Owner:</b>	Jasperjo Investments Pty Ltd
<b>Value of Development:</b>	\$2.2 million
<b>Responsible Authority:</b>	City of Canning
<b>Authorising Officer:</b>	Austin Donaghey – Manager City Planning & Economic Development
<b>LG Reference:</b>	DAP25/0003
<b>DAP File No:</b>	DAP/25/02918
<b>Application Received Date:</b>	11/06/2024
<b>Report Due Date:</b>	10/09/2025
<b>Application Statutory Process Timeframe:</b>	104 Days (90 Days with an additional 14 days agreed in accordance with CI 75 (c) of the Planning and Development (Local Planning Schemes) Regulations 2015).
<b>Attachment(s):</b>	<ol style="list-style-type: none"> <li>1. Location Plan</li> <li>2. Development Plans</li> <li>3. Applicant’s Planning Report</li> <li>4. Schedule of Submissions</li> <li>5. Stormwater and Wastewater Management Plan</li> <li>6. Traffic Review</li> <li>7. Waste Management Plan</li> <li>8. Main Roads WA Comments</li> <li>9. Site Photographs</li> <li>10. Visual Amenity Site Analysis</li> </ol>

**Responsible Authority Recommendation**

That the Metro Inner Development Assessment Panel resolves to:

**Approve** DAP Application reference DAP/25/02918 and accompanying plans in accordance with Clause 68 of Schedule 2 (Deemed Provisions) of the *Planning and Development (Local Planning Schemes) Regulations 2015*, and the provisions of the City of Canning Local Planning Scheme No. 42, subject to the following conditions:

**Conditions:**General

1. This decision constitutes planning approval only and is valid for a period of 4 years from the date of approval. If the subject development is not substantially commenced within the specified period, the approval shall lapse and be of no further effect.
2. The development is to comply in all respects with the attached approved plans, as dated, and stamped, together with any requirements and annotations detailed thereon. The plans approved as part of this application form part of the development approval issued are listed below:

List of Development Plans

Drawing Title	Sheet No.	Revision No.	Date	Drawn By
Cover	-	G	-	Contempo Designs
Locality Plan	A.01	G	-	
Site Context Plan	A.02	G	-	
Street Views A	A.03	G	-	
Street Views B	A.04	G	-	
Street Views C	A.05	G	-	
Project Perspectives	A.06	G	-	
Site Plan	A.07	G	-	
Stormwater Plan	A.08	G	-	
Floor Plan	A.09	G	-	
Elevations	A.10	G	-	
Elevations	A.11	G	-	
Sign Plan	A.12	G	-	
Sign Elevations	A.13	G	-	
Site Section X	A.14	G	-	
Cover Page	1.01	1	22.05.2025	Yoxtail Landscape Architecture
Site Photos	1.02	1	22.05.2025	
Site	2.01	1	22.05.2025	
Concept Plan	3.01	1	22.05.2025	
Artist Impressions	4.01	1	22.05.2025	
Artist Impressions	4.02	1	22.05.2025	
Artist Impressions	4.03	1	22.05.2025	
Artist Impressions	4.04	1	22.05.2025	
Artist Impressions	4.05	1	22.05.2025	
Artist Impressions	4.06	1	22.05.2025	
Artist Impressions	4.07	1	22.05.2025	
Artist Impressions	4.08	1	22.05.2025	
Hardscape Plan Notes	5.01	1	22.05.2025	
Planting Plan	6.01	1	22.05.2025	
Planting Schedule	6.02	1	22.05.2025	
Planting Specification	6.03	1	22.05.2025	
Details	8.01	1	22.05.2025	
Details	8.02	1	22.05.2025	
Details	8.03	1	22.05.2025	

3. The approval of the proposed Third Party Digital Format Sign is a temporary approval only, valid for a period of 10 years from the date of this decision. Upon expiry of this date the structure shall be removed and the land reinstated to its former condition.
4. The approved Third Party Digital Format Sign shall only become operational following the occupation of the approved Warehouse/Office building, to the satisfaction of the City.

#### Parking and Access

5. Prior to the occupation of the development, five (5) car parking spaces together with their access aisles is to be constructed, line marked and thereafter maintained for the duration of the development to the satisfaction of the City.
6. Prior to the occupation of the development, all parking spaces, manoeuvring, and circulation areas are to be constructed to comply with *Australian Standards AS/NZS2890.1:2004 Parking Facilities - Part 1: Off-street car parking*. The ACROD car parking bay design and layout are to comply with *Australian Standards AS/NZS2890.6:2022 (Off-street Parking for People with Disabilities)* and once constructed, must be maintained for the duration of the development to the satisfaction of the City.
7. Pedestrian pathways providing wheelchair accessibility to all entries, to buildings, to public footpaths and car parking areas are to comply with *Australian Standards AS/NZS1428.1-2021 (Design for access and mobility – General requirements for access – New building work)*, to the satisfaction of the City.
8. Prior to the occupation of the development, four (4) bicycle parking bays shall be provided on site. The design and construction of the bicycle bays shall be in accordance with *Australian Standards AS 2890.3:2015 Parking Facilities Part 3: Bicycle Parking*. Once installed, the bicycle parking bays and lockers are to be maintained for the duration of the development, to the satisfaction of the City.
9. Redundant vehicle crossover(s) are to be removed, and the kerbing, verge, and footpath (where relevant) reinstated with grass or landscaping, to the specifications of the City.

#### Built Form

10. The colours, materials and finishes of the development shall be in accordance with the details and annotations as indicated on the approved plans which forms part of this approval, to the satisfaction of the City.

#### Utilities, Facilities and External Fixtures

11. Prior to occupation of the development, 1 female and 1 male showers (or 1 unisex showers) and 7 lockers shall be installed and thereafter maintained in accordance with the relevant Australian Standards and Council specifications, to the satisfaction of the City.
12. Prior to the occupation of the development, a suitable bin enclosure for the storage and cleaning of receptacles on the premises is to be provided and thereafter to be maintained for the duration of the development to the satisfaction of the City.

13. External lighting shall be positioned in accordance with *Australian Standard AS/NZS 4282:2023 Control of the Obtrusive Effects of Outdoor Lighting*, to the satisfaction of the City.

#### Stormwater Management

14. Storm water from all roofed and paved areas must be collected and contained on site via soakwells. Storm water must not affect or be allowed to flow onto or into any other property. Drainage systems must be in accordance with the Building Code of Australia.

#### Waste Management

15. All provisions and recommendations in the Waste Management Plan, prepared by Pinnacle Planning, shall be implemented for the duration of the development, to the satisfaction of the City.

#### Landscaping

16. Prior to the occupation of the development, all landscaped areas are to be planted, reticulated, and mulched in accordance with the approved landscape concept plan prepared by Yoxtail Landscape Architecture dated 22 May 2025 and thereafter maintained for the duration of the development, to the satisfaction of the City.
17. Prior to the submission of a building permit, the landowner shall pay for the planting of six (6) street trees in accordance with the City's Local Planning Policy 02 - Tree Retention, Planting and Development.

#### Signage

18. The signage shall not contain any obscene or offensive information or illustration, to the satisfaction of the City.

#### Main Roads

19. Minimum dwell time of the signage is 20 seconds.
20. Luminance levels of the signage to be no more than 6,000 cd/m<sup>2</sup> during the day, 600 cd/m<sup>2</sup> dawn/dusk, and 250 cd/m<sup>2</sup> during the night.
21. The signs and sign structures are to be placed on private property and shall not overhang or encroach upon the Primary Regional Road Reservation.
22. Digital sign(s) shall not flash, pulsate or chase during all hours.
23. The signage device must not contain fluorescent, reflective or retro-reflective colours or materials.
24. Vegetation within the Primary Road Reservation shall not be removed or trimmed to improve the visibility of the proposed advertising devices.

25. Stormwater discharge shall not exceed pre-development discharge to Leach Highway road reserve.

### **Advice Notes**

1. If the development that is the subject of this approval is not substantially commenced within a period of 4 years, or another period specified in the approval after the date of the determination, the approval will lapse and be of no further effect.
2. Where an approval has so lapsed, no development must be carried out without the further approval of the City of Canning having first being sought and obtained.
3. If an applicant or owner is aggrieved by this determination there is a right of review by the State Administrative Tribunal in accordance with the Planning and Development Act 2005 Part 14. An application must be made within 28 days of the determination.
4. This approval does not authorise the commencement of any building works. The applicant is advised that a building permit must be obtained prior to the commencement of any works. To obtain a building permit it will be necessary to submit documentation in compliance with the Building Regulations, including plans incorporating all conditions of this approval, specifications, and structural drawings.
5. This Development Application does not authorise construction of a crossover. An application to construct a crossover must be made to the City on the prescribed form, accompanied by a site plan clearly showing the design, dimensions and specifications of the proposed crossover and an application fee. Please go to the City's website for more information, or contact the City's Development Engineer.
6. Any redundant Crossovers shall be removed and the kerb, Verge and Footpath (If present) reinstated to fit in with the surrounding form/development pattern. Where the redundant Crossover previously crossed the footpath, a new section of footpath is to be constructed on both sides of the existing concrete path and made to match.
7. In relation to Condition 12, all waste storage bins must be screened from view from communal areas, streets, public open spaces, and any other areas accessible to the public. Screening must be of sufficient height, design, and materials to ensure bins are not visible from these areas at all times.
8. In relation to Condition 16, the approved landscaping is to be:
  - (i) Protected by kerbing or similar barrier.
  - (ii) a total of 8 trees are to be planted within the nominated tree planting area or within a 2m x 2m deep soil area within the site. Once planted, the tree is to be thereafter maintained for the duration of the development, to the satisfaction of the City of Canning.

9. In relation to Condition 17, The street trees will be installed by the City subject to the City's street tree planting program and where deemed appropriate by the City. For further information, please contact the City's Park Services or visit the City's website.
10. A separate "Application to Construct or Install an Apparatus for the Treatment of Sewage" form is to be submitted to provide details for each effluent disposal system. The system is to be adequate to treat waste water based on the maximum number of staff or total volume of wastewater produced onsite, and is to be installed in accordance with the Health (Treatment of Sewage and Disposal of Effluent and Liquid Waste) Regulations 1974. Note: systems catering for more than 560L per day will require an additional approval from the Department of Health. Contact the City's Health Services on 1300 422 664 for further information.
11. The operation of the proposed digital sign will be subject to a separate approval process by Main Roads Western Australia (Main Roads). The applicant is advised that a formal application is to be submitted to Main Roads for assessment and approval. For application forms and supporting information about the procedure please refer to Section 9 of Main Roads' *Policy and Assessment Guidelines for Digital Advertising Signs* which can be found on the Main Roads website.
12. Main Roads agreement is to be obtained prior to any modifications to the signage.
13. No works are permitted within the road reserve unless a Working on Roads Permit has been issued by Main Roads.
14. The applicant is required to submit an application form to undertake works within the road reserve prior to undertaking any works within the road reserve. Application forms and supporting information about the procedure can be found on the Main Roads website > Technical & Commercial > Working on Roads.

#### Details: Outline of Development Application

Region Scheme	Metropolitan Region Scheme (MRS)
Region Scheme - Zone/Reserve	Industrial
Local Planning Scheme	City of Canning Local Planning Scheme No.42 (LPS42)
Local Planning Scheme - Zone/Reserve	General Industry
Use Class and permissibility:	Warehouse/Storage – Permitted Use 'P'; Office – Incidental Use 'I' Third Party Digital Format Sign – Use Not Listed
Structure Plan/Precinct Plan	N/A
Structure Plan/Precinct Plan - Land Use Designation	N/A
Lot Size:	1,513m <sup>2</sup>
Existing Land Use:	Vacant
State Heritage Register	No
Local Heritage	<input checked="" type="checkbox"/> N/A

	<input type="checkbox"/> Heritage List <input type="checkbox"/> Heritage Area
Design Review	<input checked="" type="checkbox"/> N/A <input type="checkbox"/> Local Design Review Panel <input type="checkbox"/> State Design Review Panel <input type="checkbox"/> Other
Bushfire Prone Area	No
Swan River Trust Area	No

### Proposal:

The proposal seeks to construct a Warehouse/Storage and Office building, with a separate Third Party Digital Format Sign (billboard sign).

The Warehouse/Storage and Office building comprises the following:

- Approximately 280m<sup>2</sup> of Warehouse space.
- Approximately 72m<sup>2</sup> of Office space located on the eastern side fronting Division Street.
- Communal facilities located internal to the building.
- Four (4) bicycle bays.
- At grade car parking bays consisting of:
  - Four (4) standard parking bays; and
  - One (1) ACROD bay.

All customer and staff parking accessible off two proposed crossovers on Division Street. Landscaping is provided to the front of the site, and a portion of the northern boundary, including provision of eight new advanced trees.

The Third Party Digital Format Sign is summarised as follows:

- Billboard sign erected upon a single support.
- Illuminated screen provided to the southern side facing Leach Highway.
- Overall height of 17.2m above natural ground level.
- Screen size of 42.4m<sup>2</sup>.
- Proposed to advertise third party content.

### Background:

The development is situated within the suburb of Welshpool within the Welshpool Industrial area and is located on a lot zoned 'General Industry'. The lot is currently vacant. The subject site is located on Division Street and abuts Leach Highway to the west.

The site is subject to State Planning Policy 5.4 - Road and Rail Noise due to its proximity to both Leach Highway which is designated as a Primary Regional Road and Welshpool Road which is designated as an Other Regional Road.

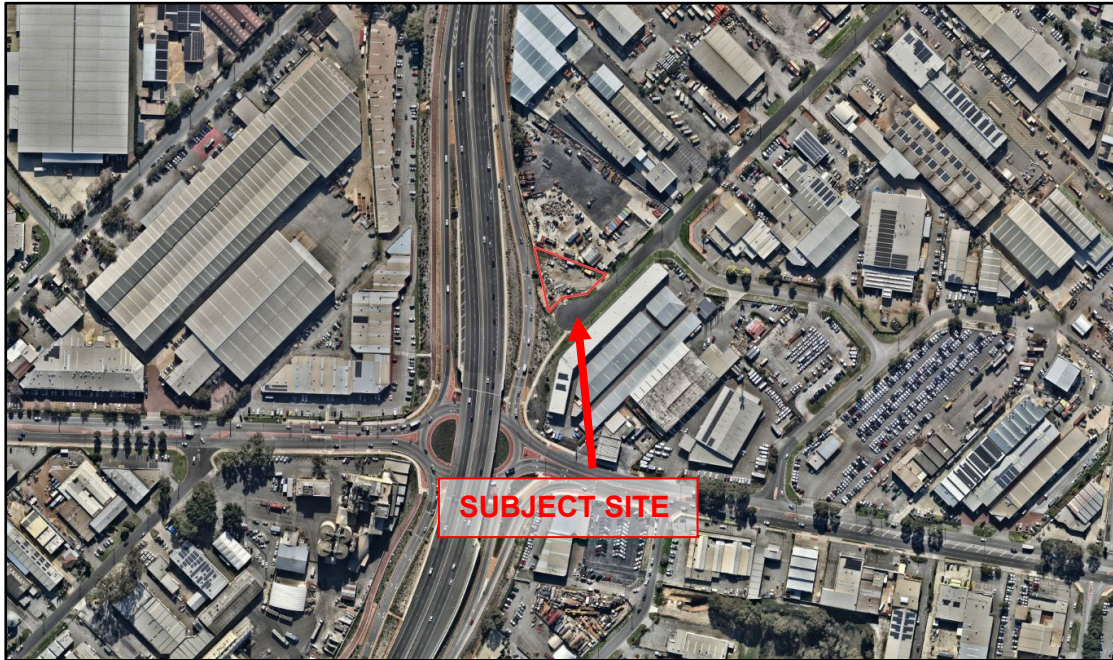


Figure 1 - Aerial Photo of Subject Site

Zoning

The subject site is zoned as 'Industrial' under the Metropolitan Region Scheme (MRS) and is zoned 'General Industry' under the City's Local Planning Scheme No. 42 (LPS42).

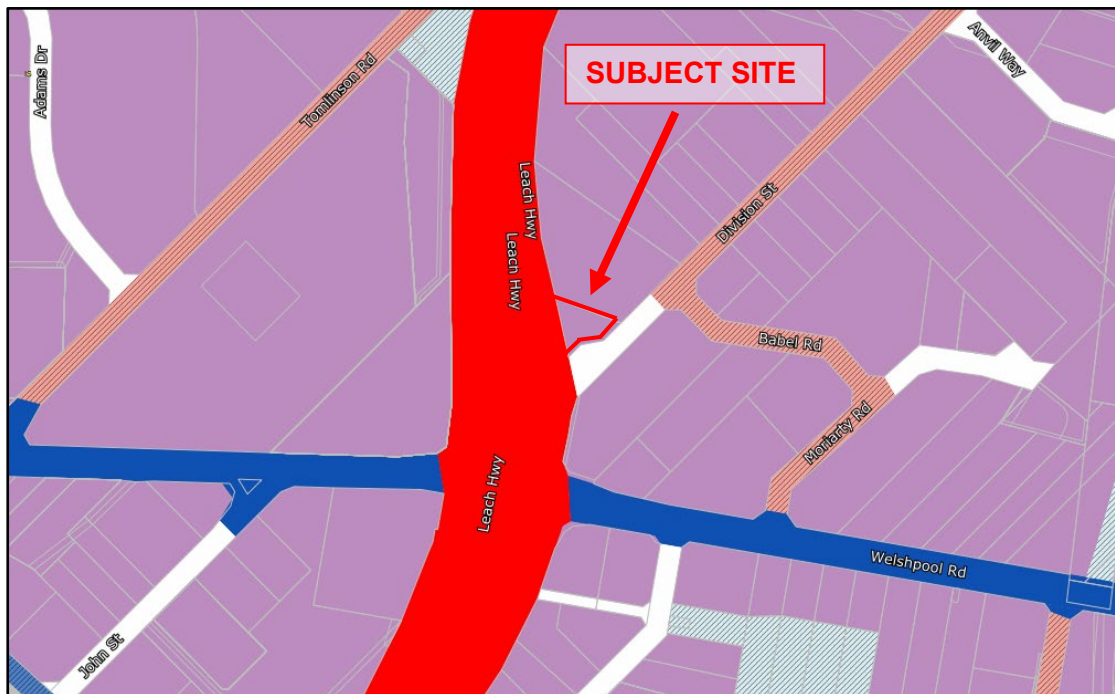


Figure 2 – Local Planning Scheme No. 42 Zoning - General Industry

## Legislation and Policy:

### Legislation

- *Planning and Development Act 2005.*
- *Planning and Development (Development Assessment Panel) Regulations 2011.*
- *Planning and Development (Local Planning Schemes) Regulations 2015 (the Regs).*
- *Metropolitan Region Scheme (MRS).*
- *City of Canning Local Planning Scheme No. 42 (LPS42).*

### State Government Policies

- *State Planning Policy 5.4 – Road and Rail Noise (SPP5.4).*

### Local Policies

- *Local Planning Policy LP.02 – Tree Retention, Planting & Development (LP02).*
- *Local Planning Policy LP.05 – Advertising Signs (LP05).*
- *Local Planning Policy LP.11 – Public Consultation of Planning Proposals (LP11).*

## Consultation:

### Public Consultation

Consultation has been undertaken in accordance with Clause 64 (3) of the Deemed Provisions and Local Planning Policy 11 – Public Consultation of Planning Proposals (LP.11).

The application was advertised for 28 days to landowners and occupiers within a 200m radius surrounding the subject site. In addition to notification to surrounding residents, consultation included an advert in the local paper and erection of a sign on the site in the manner required by the Deemed Provisions. The advertising period commenced on 23 July 2025 and concluded on 20 August 2025.

Following the closure of the public consultation period five submissions were received. The submissions comprised two (2) objections, one (1) no objection with commentary, one (1) no objection without commentary and one submission neither objecting nor supporting.

A summary of the matters raised by the objections received is provided in Table 1 below, and the City's response to the matter. A Schedule of Submissions is provided as Attachment 4.

*Table 1 – Summary of Objections Received*

Matters Raised	Officer's Comments
Loss of visual amenity and building bulk	The applicant has provided a visual amenity imagery report which demonstrates the visibility of the signage from different directions both on Leach Highway and on the off-ramp. The proposal is not considered to create significant visual pollution noting that there are no other signs located within

	visibility of the proposed sign, the sign is single facing and the size is in compliance with the City's policy. It is noted that the size of the sign has been reduced by 5.6m <sup>2</sup> following commencement of the consultation period.
Driver safety	The proposal has been supported by a Traffic Review addressing the requirements of Main Roads WA policies. The proposal has been supported by Main Roads WA subject to conditions.
Non-compliance with LP.05	The proposed signage has been assessed accordingly against the requirements and objectives of the policy.
Incompatibility of the land use	The proposed land use has been assessed against the relevant objectives of the 'General Industry' zone and is supported.

### City of Canning Internal Referrals

#### Development Engineering

The City's Development Engineers advised that the crossovers do not comply with the City's specifications. Accordingly, an advice note of development approval is recommended to advise of the requirement to obtain separate crossover approval from the City.

#### Environmental Health

The City's Environmental Health team advised that there are no health concerns subject to advice notes relating to sewerage requirements included on the City's recommendation.

### Referrals with Government/Service Agencies

#### Main Roads WA

Main Roads WA supported the application subject to conditions. The recommended conditions and advice notes are included in the City's recommendation. A copy of Main Roads WA comments is provided in Attachment 8.

#### Department of Transport

The Department of Transport raised no objection to the proposal subject to compliance with Main Roads WA signage policies, and ensuring the signage avoids distracting drivers, and active transport users.

#### Design Review Panel Advice (DRP)

The application was not required to be considered by the City's Design Review Panel under the City's *Local Planning Policy –10 Design Review Panel Assessment of Significant Development*.

### **Planning Assessment:**

The proposal has been assessed against all the relevant legislative requirements of LPS42, and State and Local Planning Policies outlined in the Legislation and Policy

section, of this report. The following matters have been identified as being key considerations, for the determination of the application.

### Local Planning Scheme No. 42 (LPS42)

#### Land Use

The subject site is located within the 'General Industry' zone of the LPS42.

Under the City's LPS42, within the General Industry zone, land use permissibility for the proposed land uses is as follows:

*Table 2 – LPS42 Land Use Assessment*

Land Use	Permissibility	Permissibility Description
Warehouse/Storage;	'P' – Permitted	means that the use is permitted if it complies with any relevant development standards and requirements of this Scheme.
Office	'I' – Incidental	means that the use is permitted if it is consequent on, or naturally attaching, appertaining or relating to the predominant use of land and it complies with any relevant development standards and requirements of this Scheme.
Third Party Digital Format Sign	Use Not Listed	means a use that is not specifically referred to in the zoning table and that cannot reasonably be determined as falling within a use class referred to in the zoning table.

The proposed office land use is located internally to the building, with communal access to the utilities provided. The office space is consistent with the functional requirements of an industrial development as it provides suitable administration space related to the primary use of the site however its location and relative size provide suitable certainty regarding its incidental nature. In addition, an assessment against the development standards of the Scheme has demonstrated compliance of the use. Accordingly, the office land use is considered to meet the intent of an incidental land use within the 'General Industry' zone.

An assessment against the objectives of the 'General Industry' zone has been provided below for the proposed Third Party Digital Format Sign which is not specifically referred to in the zoning table however it can be considered under Clause 3.3.4 of LPS42 having due regard to the objectives of General Industry zone.

*Table 3 – LPS42 Land Use Objectives Assessment*

General Industry Zone	
Objective	Comment
To provide for a broad range of industrial, service and storage activities which, by the nature of their operations, should be isolated from residential and other sensitive land uses.	The proposed Third Party Digital Format Sign is provided exclusive to the primary function of the site, as a Warehouse/Storage and Office building. The separation of the buildings means that the proposal will not impede the functional use or capacity of the Industrial building. The proposal is consistent with the intended land use activities on the site, with the signage of an

	independent nature so that it does not fetter the ability of the site to provide its primary function.
To accommodate industry that would not otherwise comply with the performance standards of light industry.	The subject proposal incorporates industry land uses and is appropriate for the general industry zone.
Seek to manage impacts such as noise, dust and odour within the zone.	The proposal is not considered to have any significant resultant impact on noise, dust or odour on surrounding sites. The visual impact assessment indicates that the proposal will not impede any residential land uses and is not considered to provide any significant detrimental visual impact on the locality.

In addition, an assessment against the matters to be considered under Clause 67 of the Planning and Development (Local Planning Schemes) Regulations Schedule 2 Part 9 has been provided.

*Table 4 – Clause 67 Regulations Assessment*

<b>Clause 67 – Matters to be Considered</b>	
<b>Matter</b>	<b>Assessment</b>
(a) the aims and provisions of this Scheme (including any planning codes that are read, with or without modifications, into this Scheme) and any other local planning scheme operating within the Scheme area;	The proposal has been assessed against the requirements of the City's Local Planning Scheme No.42.
(g) any local planning policy for the Scheme area;	The proposal has been assessed against all applicable Local Planning Policies.
(m) the compatibility of the development with its setting, including — (i) the compatibility of the development with the desired future character of its setting; and (ii) the relationship of the development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development;	The proposed development is considered to be compatible with the surrounding development in the area as the industrial building that dominates the site is consistent in terms of land use and scale with adjoining development and surrounding development in the area. The proposed signage does not fetter the ability of the site to meet the intended built form and land use outcome under the local planning framework.
(n) the amenity of the locality including the following — (i) environmental impacts of the development; (ii) the character of the locality; (iii) social impacts of the development;	The proposal is not located within any close catchment of residential land use or development and does not impede residential amenity. The proposed development does not have a determinable detrimental environmental or social impact on the amenity of the area and the assessment demonstrates compatibility of the development in its context.
(y) any submissions received on the application;	The application constitutes a 'Complex' application and accordingly underwent consultation. During the consultation period of 28 days, 4 responses were received which are summarized and discussed in the table below. Two provided objections, one provided no objection and one provided no objection with caveats discussed below.

(za) the comments or submissions received from any authority consulted under clause 66;	Comments from Main Roads Western Australia and the Department of Transport have been considered. Main Roads WA supported the proposal subject to conditions, and the Department of Transport provided no objection. Appropriate conditions recommended have been included in the City's recommendation.
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The proposed land uses overall are considered to be consistent with the objectives of the General Industry zone and are supported.

### Works

The proposed development is generally compliant with the primary development controls of the City's LPS42. The following table provides an assessment against variations to the requirements of the City's LPS42.

*Table 5 – LPS42 Scheme Provisions Assessment*

Provision	LPS42 Requirement	Proposed	Assessment
Street Setbacks	Primary Street – Minimum 15m	12.3m primary street setback.	<p><b>Supported</b></p> <p>The proposal includes a setback reduction at the nearest point of the building due to the cul-de-sac location and adjusted lot boundaries to suit. The building follows the street pattern of development and will not have a detrimental impact on the streetscape, noting that the sites location provides a primary regional road directly west of the lot.</p> <p>The proposed development improves the appearance of the street, with the proposal including significant landscaping contribution and surveillance. The portion of the building encroaching into the front setback forms an integral part of the built form of the primary building.</p> <p>The proposal is considered acceptable.</p>
Facades	Each façade shall include varied heights, materials, colours or textures; or public artwork.	Single form, concrete materiality and colours.	<p><b>Supported</b></p> <p>The proposal is located in an existing industrial area surrounding by industrial land uses to the north and east, and a primary regional road reservation to the west and south. As such, the proposed concrete panel construction is not considered to create an undesirable streetscape outcome for the area, nor represent development inconsistent with the surrounding area. The front façade</p>

Provision	LPS42 Requirement	Proposed	Assessment
			includes openings to break up the appearance of the development and provide visual connectivity to the streetscape.  The proposal is considered acceptable.

In addition, end of trip facilities are required as follows:

*Table 6 – LPS42 Bicycle Parking Scheme Provisions Assessment*

Scheme Provision	Bicycle Spaces Provided	Bicycle Spaces Required	Total Requirement
1 male and 1 female shower (or 1 unisex) per 8 bicycle parking spaces or part thereof	4	1	1 male and 1 female shower (or 1 unisex)
1 locker per bicycle parking space required for employees.			1 locker

The proposal does not include any provision of showers on site. It is noted, that capacity within the proposed male and female toilets exists for showering facilities and accordingly the City has included a condition in its recommendation for the facilities to be provided. The proposal includes space for 7 lockers on site.

The proposal meets the bicycle parking requirements of the Scheme.

### Signage

Third Party Digital Format Signage is not a use referred to in the City's LPS42, nor can it be reasonably determined as fitting in a land use class referenced in the City's LPS42. The land use is appropriately considered a Use Not Listed in accordance with Clause 3.3.4 of LP42. Notwithstanding, provisions within the City's LP.05 apply to the proposal.

The City's LP.05 sets out general advertising signage requirements, applicable to all signage types, and specific provisions applicable to different signage formats. The following tables provide an assessment against key applicable provisions of the City's LP05 for advertising signs.

*Table 7 – LP.05 All Signs Assessment*

All Signs LP.05 Requirement	Assessment
All signs along, abutting or facing towards 'Primary Regional' or 'Other Regional' and 'District Distributor' Road Reserves are to be designed with regard to the requirements of the applicable Main Roads WA Guidelines and/or a Development Control Policy(s) by the WAPC.	<b>Supported</b>  The proposal has been designed in accordance with the Main Roads WA Guidelines as per the applicant's Traffic Review assessment. Main Roads WA have provided referral comments confirming support of the proposal subject to conditions. The Main Roads WA recommended conditions have been included in the City's recommendation.

Table 8 – LP.05 Illuminated Signs Assessment

Illuminated Signs LP.05 Requirement	Assessment
<p>The sign must not flash or pulsate.</p> <p>The sign must not exceed the following maximum luminance levels:</p> <ul style="list-style-type: none"> <li>a. Day time – 6000 cd/m<sup>2</sup>;</li> <li>b. Dawn/Dusk – 600 cd/m<sup>2</sup>; and</li> <li>c. Night – 300 cd/m<sup>2</sup>.</li> </ul> <p>The illuminance must comply with AS 4282– Control of the Obtrusive Effects of Outdoor Lighting, particularly to not cause a nuisance by way of light spillage to abutting sites.</p> <p>The illuminated sign is not to comprise flashing, intermittent or running lights, or change in lighting intensity.</p> <p>The electrical components of the sign being screened or hidden from view and maintained, to the satisfaction of the relevant electricity supply authority.</p>	<p><b>Supported</b></p> <p>The covering letter provided confirms the proposed signage does not include flashing or pulsating lights. A Main Roads WA condition is included in the City's recommendation to prohibit flashing, pulsating or chasing lights.</p> <p>The proposal has been designed in accordance with the Main Roads WA Guidelines as per the applicant's Traffic Review assessment. Main Roads WA have provided referral comments advising of the requirement for a condition for the sign not to exceed the following maximum luminance levels:</p> <ul style="list-style-type: none"> <li>a. Day time – 6000 cd/m<sup>2</sup>;</li> <li>b. Dawn/Dusk – 600 cd/m<sup>2</sup>;</li> <li>c. Night – 250cd/m<sup>2</sup>.</li> </ul> <p>The recommended conditions have been included in the City's recommendation and exceed the requirements of the City's policy.</p> <p>The City has included an appropriately worded condition to control light spillage in its recommendation.</p> <p>The City has included a Main Roads WA condition to control flashing, pulsating or chasing lights in its recommendation.</p> <p>The proposed signage back is located to the northern side of the structure, facing away from Division Street and Leach Highway. Any electrical components will be confined to this side of the structure and out of public view.</p>

Table 9 – LP.05 Digital Format Signs Assessment

Digital Format Signage LP.05 Requirement	Assessment
<p>Digital format signs which propose moving advertising content may only be considered where they meet the requirements of Main Roads WA Polices and Assessment Guidelines for Digital Advertising Signs.</p>	<p><b>Supported</b></p> <p>The Traffic Review indicates static imagery is intended for the signage. The City has included Main Roads WA condition in its recommendation to prohibit chasing content.</p>

Digital Format Signage LP.05 Requirement	Assessment
<p>The sign is restricted to a maximum screen area of 42.4m<sup>2</sup>.</p> <p>The sign must not exceed the following maximum luminance levels:</p> <ul style="list-style-type: none"> <li>c. Day time – 6000 cd/m<sup>2</sup>;</li> <li>d. Dawn/Dusk – 600 cd/m<sup>2</sup>; and</li> <li>b. c. Night – 300 cd/m<sup>2</sup>.</li> </ul> <p>The duration of transition between the full display of one message and the full display of the next message shall not exceed 0.1 seconds and have a minimum dwell time duration of 10 seconds.</p> <p>Animated transitional effects such as fly-in, sliding and checker boarding are not permitted.</p> <p>Digital Format signs should not impact upon existing residential amenity.</p>	<p>The screen size proposed is 42.4m<sup>2</sup>.</p> <p>The City has included a Main Roads WA condition to control luminance levels in its recommendation.</p> <p>The City has included a Main Roads WA condition to control dwell time in its recommendation.</p> <p>The City has included a Main Roads WA condition to control flashing, pulsating or chasing in its recommendation.</p> <p>The signage is located in an industrial area and is not visible from any residential zonings or land uses.</p>

Table 10 – LP.05 Third Party Signs Assessment

Third Party Signage LP.05 Requirement	Assessment
<p>Third Party Signage proposals are generally not supported in the City. Notwithstanding this, the City may consider proposals for Third Party Signage where the sign is located:</p> <ul style="list-style-type: none"> <li>a. Within the Light Industry or General Industry zone and</li> <li>b. Within, or adjacent to a Primary Regional Road Reserve, Other Regional Road Reserve, District Distributor Road or adjacent to a Railway Reservation.</li> </ul>	<p><b>Supported</b></p> <p>The proposal is located within the General Industry zone and adjacent to a Primary Regional Road Reserve (Leach Highway).</p>
<p>If the sign location complies with the above the following criteria applies:</p> <p>Is not visible from any existing or proposed Residential development, public open space (local or regional) or sensitive land uses;</p> <p>Is not in view of, or within proximity, to other existing Third-Party Signage;</p>	<p><b>Supported</b></p> <p>The location of the proposed signage is as follows:</p> <p>Located a minimum of 800m from any residential property or public open space. The City has not identified any sensitive land uses in visibility of the proposal;</p> <p>There are no existing Third party signs within view or proximity of the site;</p>

Third Party Signage LP.05 Requirement	Assessment
<p>Has a maximum size of up to 42.4m<sup>2</sup>;</p> <p>Has a maximum height of up to 12.5m;</p> <p>Maximum of one sign per lot;</p> <p>To one façade only;</p> <p>Is preferably not digital or illuminated in format, unless proven consistent with the digital format and/or illuminated signage requirements of this Policy;</p> <p>Is to be considered on a temporary basis where the planning framework and future character of the locality involved is likely to change;</p> <p>Is not the only use on the land and should not prejudice the intended use of the land as identified in the Scheme;</p> <p>Would not detract from the existing and likely future character and amenity of the locality.</p>	<p>The proposed sign is 42.4m<sup>2</sup> in size;</p> <p>The maximum height of the proposed sign is 17.2m;</p> <p>Only one sign is proposed on the lot, with none existing.</p> <p>The proposed sign is located to one façade only;</p> <p>The proposed sign is digital and illuminated. The proposal has been assessed against the digital format and illuminated signage requirements of LP.11 and complies;</p> <p>The City considers that it is appropriate to include a time constraint in accordance with the requirements of the Policy. A condition is included in the City's recommendation for the approval to expire in 10 years and accordingly the sign is removed from the site;</p> <p>The proposal includes a Warehouse/Office building. The proposed signage structure is designed as independent from the building and does not fetter the ability of the site to function for industrial purposes. A condition of development approval is recommended requiring the Warehouse/office building to be in operation prior to operation of the digital format sign;</p> <p>The proposal is located to the rear of proposed Warehouse/office building, allowing the site to retain its industrial use. In order to ensure that the subject site can retain its ability to meet the objectives of the General Industry zone and not fetter the future character of the area, it is appropriate to ensure the approval for the signage is provided on a temporary basis only. A condition of development approval is recommended to provide a 10-year temporary approval.</p> <p>Further comment on the non-compliance with the maximum height is provided below.</p>

LP.05 sets out specific advertising signage requirements, applicable to specific types of advertising signs. Signage are broken into different types within LP.05, distinguished by the form of the signage, its location, purpose and illumination. The subject signage is considered to meet the definition of a 'Billboard Sign' in LP.05, provided below.

“A sign fixed to a freestanding structure that is not a building and has one or more supports, with its sign protruding rectangular to its supports and generally rectangular in shape.”



Figure 3 – Local Planning Policy 05 Advertising Signs – Billboard Sign

The following tables provide an assessment against key provisions of the City’s LP.05 for Billboard Signs.

Table 11 – LP.05 Billboard Signs Assessment

Billboard Signage LP.05 Requirement	Assessment
Up to a maximum size of 42.4m <sup>2</sup> .	<b>Complies</b> 42.4m <sup>2</sup> .
Have a maximum height of 12.5m.	<b>Does not Comply</b> 17.2m. Further comment on the non-compliance with the maximum height proposed has been provided below.
Maximum of one sign per lot.	<b>Complies</b> One sign proposed, no existing signs on the lot.

### Maximum Height

The proposed billboard sign proposes a total height of 17.2m in lieu of 12.5m, a variation of 4.7m, exceeding the maximum permitted sign height provisions for a billboard sign under the City’s LP.05.

In considering this height variation the City notes:

- The proposed signage is provided on private property adjacent to the regional road reservation;
- The subject site is located on a cul-de-sac with limited interface with the site to the opposite side of the street (south-east);
- The subject site is located centrally within the General Industry zone, with the nearest residential zoning being more than 800m from the subject site;
- There is significant difference in the level of the site in relation to the adjoining regional road reservation.

The proposed signage exceeds the maximum permissible height as a response to the topography of the land in the locality in relation to the adjoining primary regional road reservation (Leach Highway). The adjoining road surface of Leach Highway sits approximately 9.1m higher than the level of the subject site, corresponding to the proposed placement of the sign. Consequently, the proposed sign is required to exceed the maximum height allowance of 12.5m in order to project above the road surface and achieve visibility on Leach Highway for vehicles travelling northbound.

It is noted that the structure is screened from view on Division Street by the proposed building and only the screen and a small portion of the support is visible on Leach Highway. Although the sign is visible from the Leach Highway off-ramp this is considered acceptable as the sign orients to the south and therefore does not present to the traffic travelling off the ramp on to Welshpool Road.

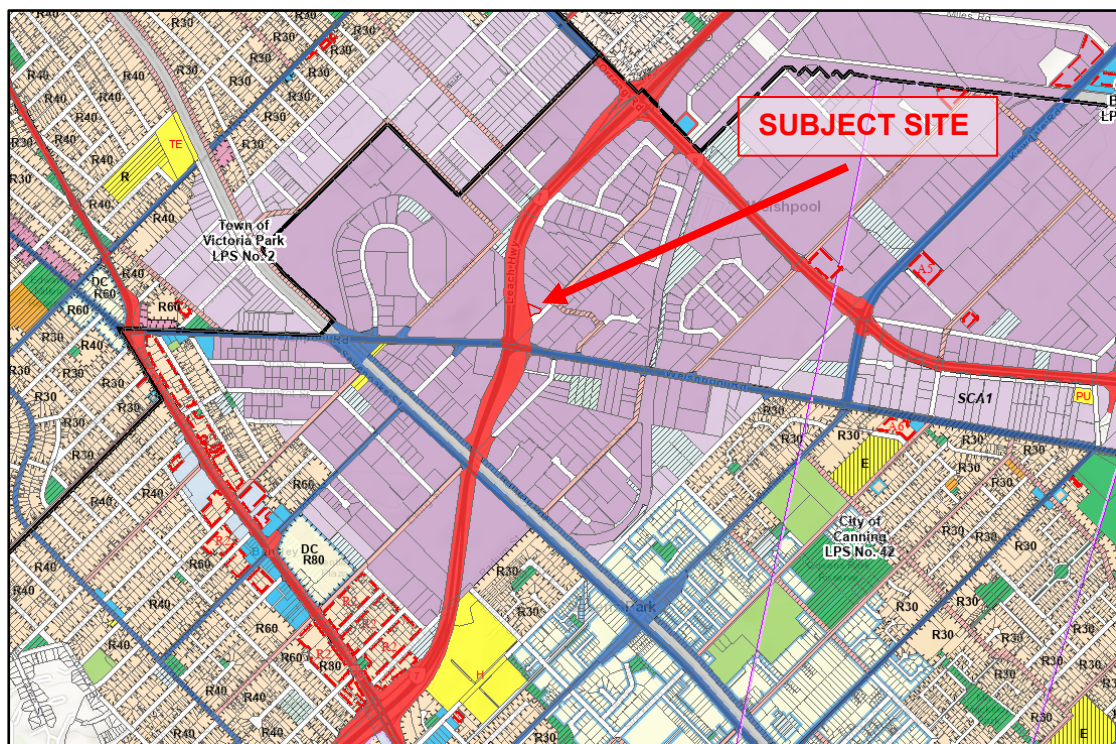


Figure 4 – PlanWA Mapping – Local Planning Schemes

The subject site is located centrally within the Welshpool General Industry zone and is not located in close vicinity of any sensitive land uses. A site and desktop assessment on the visibility of the structure from residential land uses has been conducted by the City to consider visual impacts of the structure on sensitive land uses (see Attachment 10).

Three key locations were selected which represent the nearest residential zonings in south-eastern, southern and south-western directions, to accommodate the direction of the sign. Due to topographical conditions, existing built form and landscaping, the City is satisfied that the proposed signage will not create an unreasonable visual amenity impact on the surrounding residential land uses.

An assessment against the objectives of LP.05 has been provided below.

Table 12 – LP.05 Objectives Assessment

LP.05 Objectives	Assessment
Ensure advertising signs only relate to services and products available on the site.	The proposed signage contemplates Third Party advertising material. The City is satisfied the approval of the signage on a temporary basis only, will not fetter the ability of the site to respond to its future context and the intent of the planning framework.
Ensure the content of advertising signs is controlled and is not discriminatory or offensive.	The City has included a condition in its recommendation to ensure that the advertising content is not obscene or offensive.
Ensure advertising signs are appropriately scaled for their setting and are within appropriately located areas, complementary to the objectives of the zone and built form.	The proposed signage is of a scale consistent with the surrounding signage built form within the area primarily related to existing buildings. Whilst the height exceeds that permitted under the Policy, it is considered appropriate as the additional height addresses a topographical constraint on the site to ensure visibility. The proposal has been assessed against the objectives of the zone above. The proposal has been assessed within its context above and found to be acceptable within the surrounding built form.
Ensure advertising signs do not adversely impact the amenity of the surrounding areas.	An amenity impact assessment has been undertaken by the applicant and independently, by the City. Given the location and topographical factors, the proposal is not considered to have an adverse amenity impact on the surrounding area.
Encourage the incorporation of advertising signs into the design consideration of buildings and avoid obscuring or detracting from prominent architectural features.	The proposed signage is located to the rear of the site so as not to detract from the appearance of the building from Division Street. The signage is intended to be visible from Leach Highway and consequently obstructs sightlines to the sight from the north-west and south-west. Accordingly the City considers that a temporary approval only for the signage is required to ensure the development site is not fettered from meeting the future intent of the zoning.
Avoid the proliferation of advertising signs on individual sites and buildings.	The proposed signage is the only sign proposed on the site, with no approved signage currently occupying the site.
Ensure advertising signs are not misleading or dangerous to vehicular or pedestrian traffic.	The proposal, including a Traffic Review, has been referred to Main Roads WA, who support the application subject to conditions included in the City's recommendation.
Ensure Third Party signage is appropriately located within the Industry Zone and is complementary to the objectives of the zone and surrounding built form.	The proposed signage is located within the General Industry zone under LPS42, and has been assessed against the objectives of the zone. The proposal has been assessed within its context above and found to be acceptable within the surrounding built form.

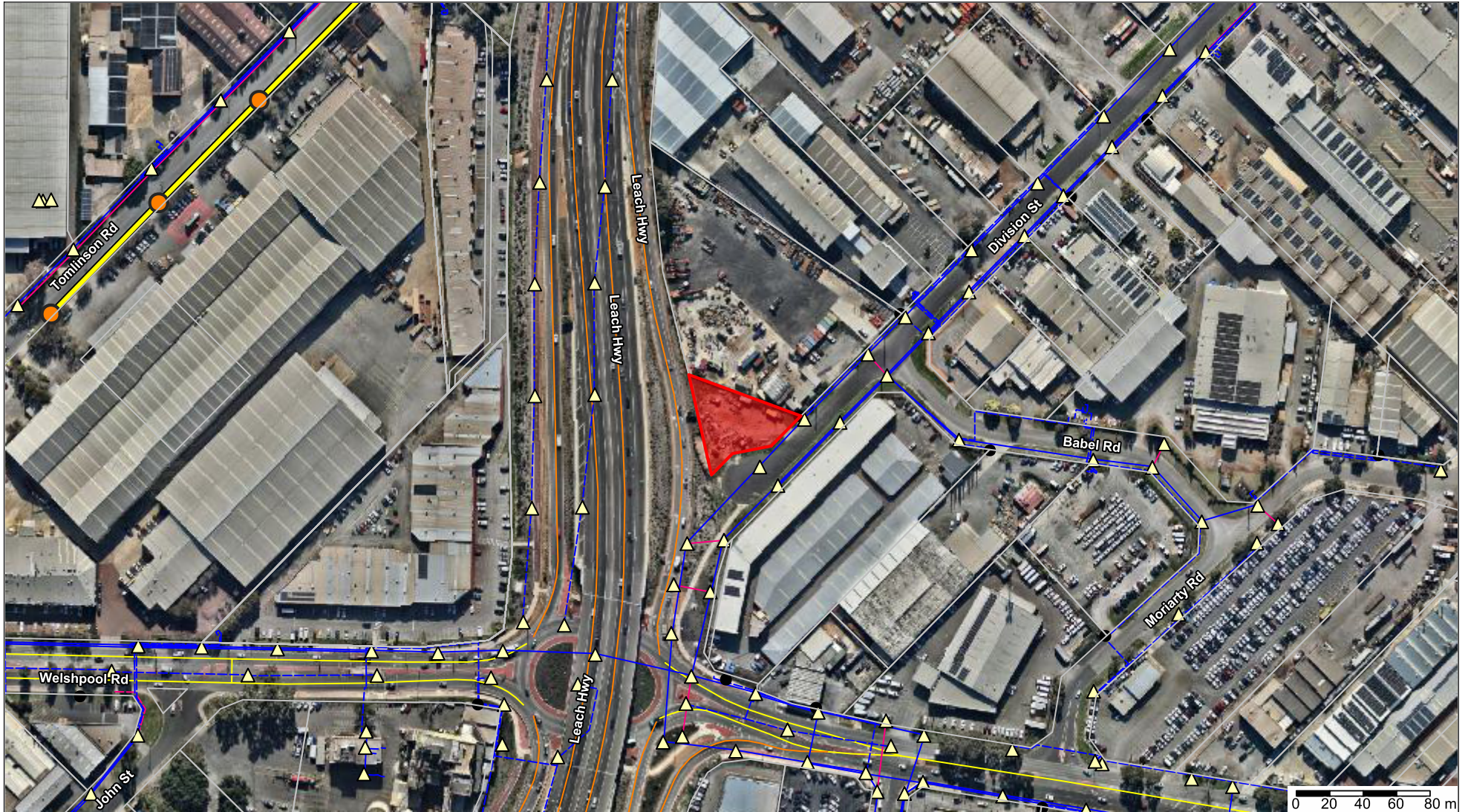
The proposed maximum height of the sign is considered acceptable as it responds to the constraints of the site and its surrounding locality and does not impede upon sensitive land uses or residential amenity.

In light of the above assessment, the City considers that the proposal is consistent with all respective requirements of the Planning framework.

**Conclusion:**

The application for an Industrial development has been thoroughly assessed against the City's planning framework. It is considered that with suitable conditions, the proposal will provide a suitable form of development within the General Industry zone and is considered compatible and consistent with the objectives of the zone.

The proposal responds to the context of the subject site and has been appropriately designed to respond to its location and the constraints of the site. Landscaping is provided that will integrate the development within the existing streetscape. In accordance with the City's planning framework, it is recommended that the DAP approve the application subject to conditions.



The City of Canning does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that the City of Canning shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information.

19/08/2025

1:3000



REV **G**

ISSUED FOR DEVELOPMENT APPLICATION

**18 DIVISION  
STREET,  
WELSHPOOL**

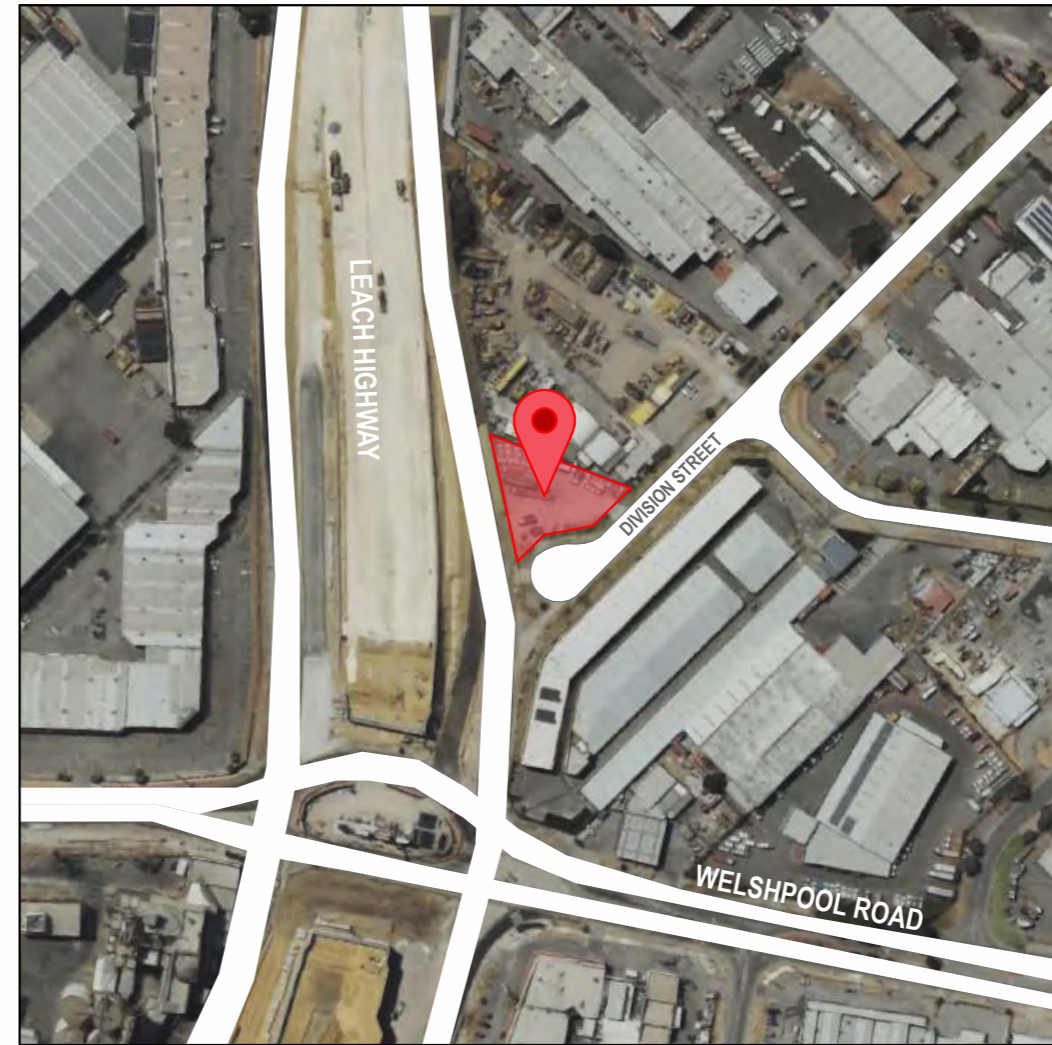
PROPOSED

**WAREHOUSE  
& BILLBOARD**

CONTEMPO  
DESIGN



**GWYTH  
JONES**



PROPOSED  
**WAREHOUSE  
 & BILLBOARD**

**18 DIVISION STREET,  
 WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV **G** JOB No.  
 J25-020

SHEET SIZE  
 ISO A3

SCALE  
 NTS

SHEET  
 A.01

DRAWING TITLE  
 LOCALITY PLAN

**CONTEMPO**  
 D E S I G N

 **GWYTH  
 JONES**



VIEW B

VIEW A

VIEW C

LEACH HIGHWAY

HIGHWAY WALL  
CRASH BARRIER

LEACH HIGHWAY OFF-RAMP

DIVISION STREET

PROPOSED SIGN

PROPOSED WAREHOUSE

SUBJECT SITE



PROPOSED  
**WAREHOUSE  
& BILLBOARD**

**18 DIVISION STREET,  
WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV **G**

JOB No.  
J25-020

SHEET SIZE  
ISO A3

SCALE  
1:500

SHEET  
A.02

DRAWING TITLE  
SITE CONTEXT PLAN

**CONTEMPO**  
DESIGN

 **GWYTH  
JONES**

**VIEW A**  
VIEW FROM OFF-RAMP



PROPOSED  
**WAREHOUSE  
& BILLBOARD**

**18 DIVISION STREET,  
WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV **G**

JOB No.  
J25-020

SHEET SIZE  
ISO A3

SCALE  
1:100

SHEET  
A.03

DRAWING TITLE  
STREET VIEWS A

**CONTEMPO**  
DESIGN

 **GWYTH  
JONES**

**VIEW B**  
VIEW FROM HIGHWAY  
(SOUTH BOUND)



PROPOSED  
**WAREHOUSE  
& BILLBOARD**

**18 DIVISION STREET,  
WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV **G**

JOB No.  
J25-020

SHEET SIZE  
ISO A3

SCALE  
1:100

SHEET  
A.04

DRAWING TITLE  
STREET VIEWS B

**CONTEMPO**  
DESIGN

 **GWYTH  
JONES**

**VIEW C**  
VIEW FROM HIGHWAY  
(NORTH BOUND)



PROPOSED  
**WAREHOUSE  
& BILLBOARD**

**18 DIVISION STREET,  
WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV **G**

JOB No.  
J25-020

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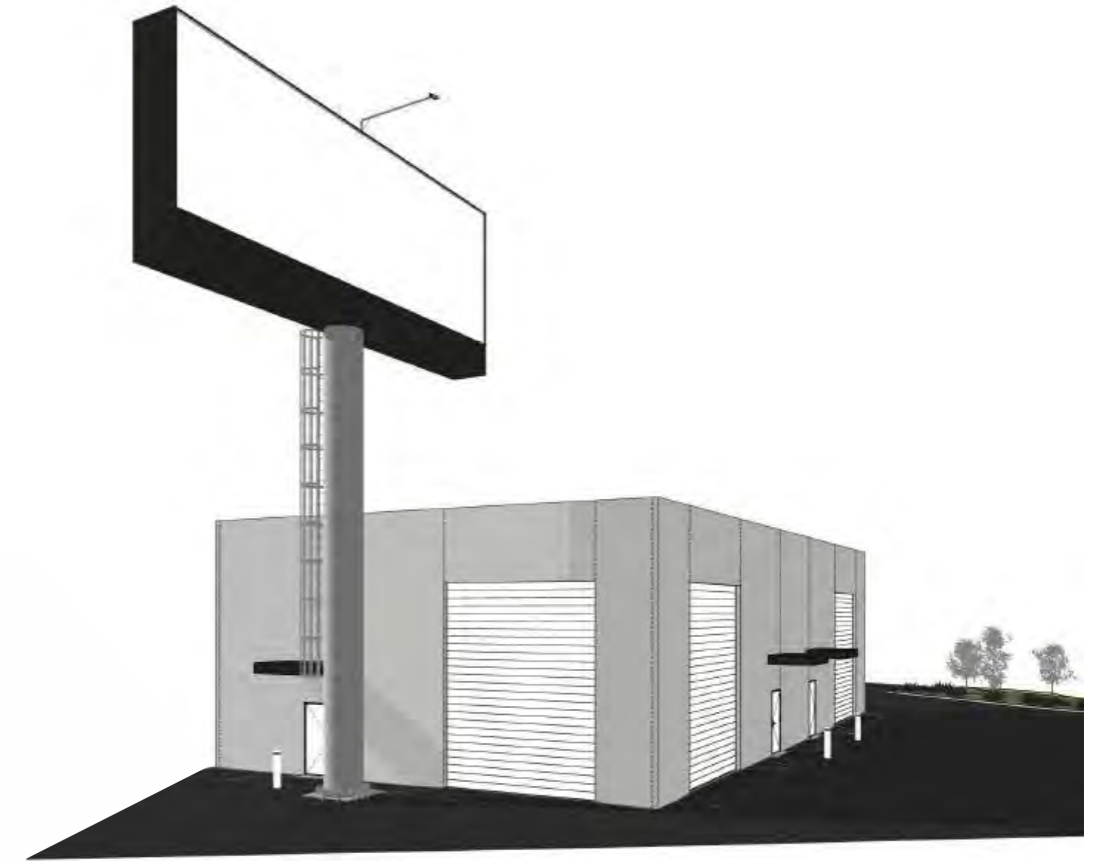
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A.05

DRAWING TITLE  
STREET VIEWS C

CONTEMPO  
DESIGN



**GWYTH  
JONES**



PROPOSED  
**WAREHOUSE  
 & BILLBOARD**

**18 DIVISION STREET,  
 WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV **G**

JOB No.  
 J25-020

SHEET SIZE  
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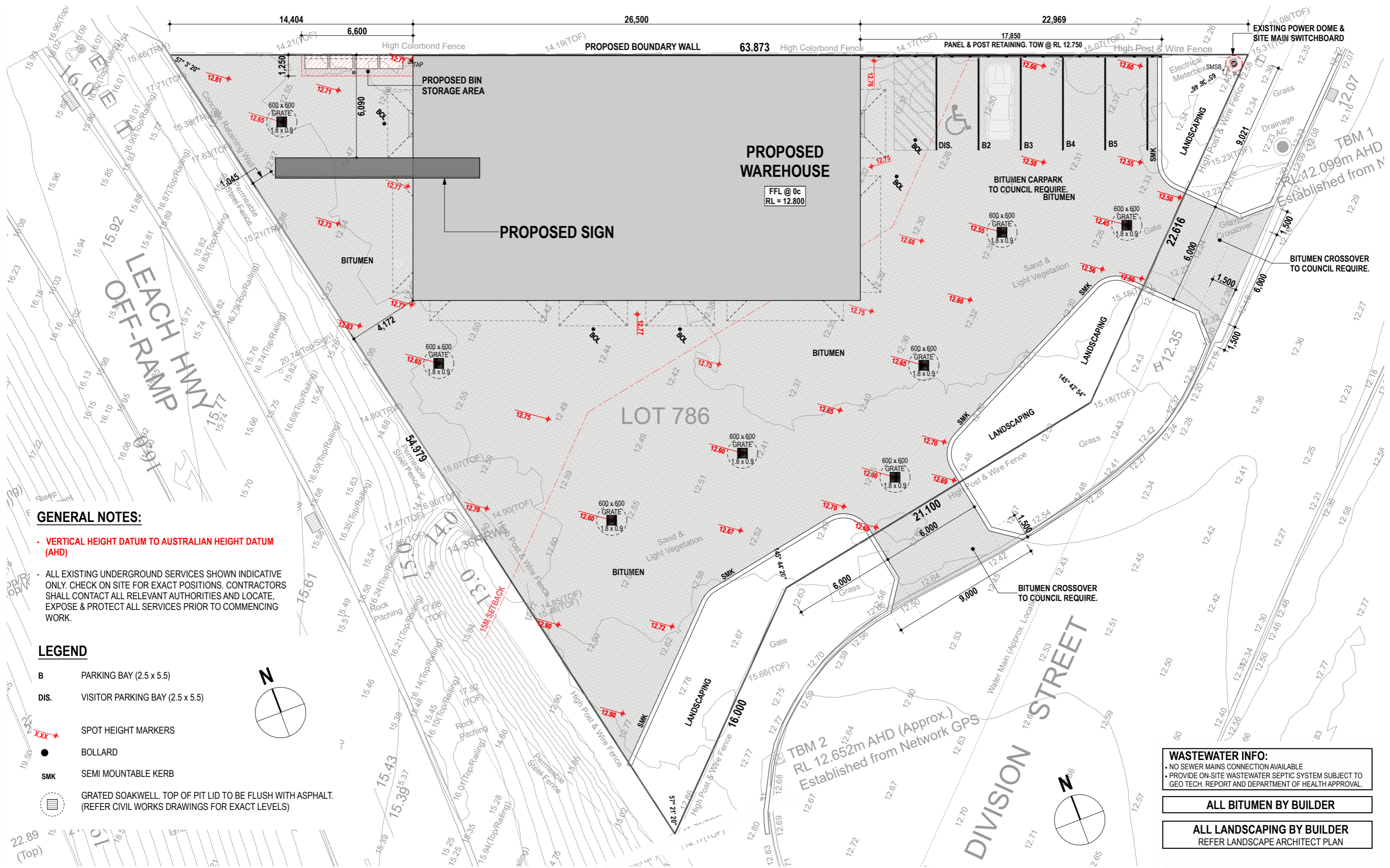
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SHEET  
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DRAWING TITLE  
 PROJECT PERSPECTIVES

**CONTEMPO**  
 D E S I G N

 **GWYTH  
 JONES**

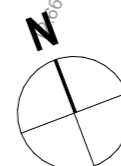
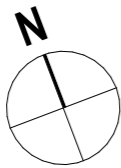


**GENERAL NOTES:**

- VERTICAL HEIGHT DATUM TO AUSTRALIAN HEIGHT DATUM (AHD)
- ALL EXISTING UNDERGROUND SERVICES SHOWN INDICATIVE ONLY. CHECK ON SITE FOR EXACT POSITIONS. CONTRACTORS SHALL CONTACT ALL RELEVANT AUTHORITIES AND LOCATE, EXPOSE & PROTECT ALL SERVICES PRIOR TO COMMENCING WORK.

**LEGEND**

- B PARKING BAY (2.5 x 5.5)
- DIS. VISITOR PARKING BAY (2.5 x 5.5)
- SPOT HEIGHT MARKERS
- BOLLARD
- SMK SEMI MOUNTABLE KERB
- GRATED SOAKWELL. TOP OF PIT LID TO BE FLUSH WITH ASPHALT. (REFER CIVIL WORKS DRAWINGS FOR EXACT LEVELS)



**WASTEWATER INFO:**  
 • NO SEWER MAINS CONNECTION AVAILABLE  
 • PROVIDE ON-SITE WASTEWATER SEPTIC SYSTEM SUBJECT TO GEO TECH. REPORT AND DEPARTMENT OF HEALTH APPROVAL.

**ALL BITUMEN BY BUILDER**

**ALL LANDSCAPING BY BUILDER**  
 REFER LANDSCAPE ARCHITECT PLAN

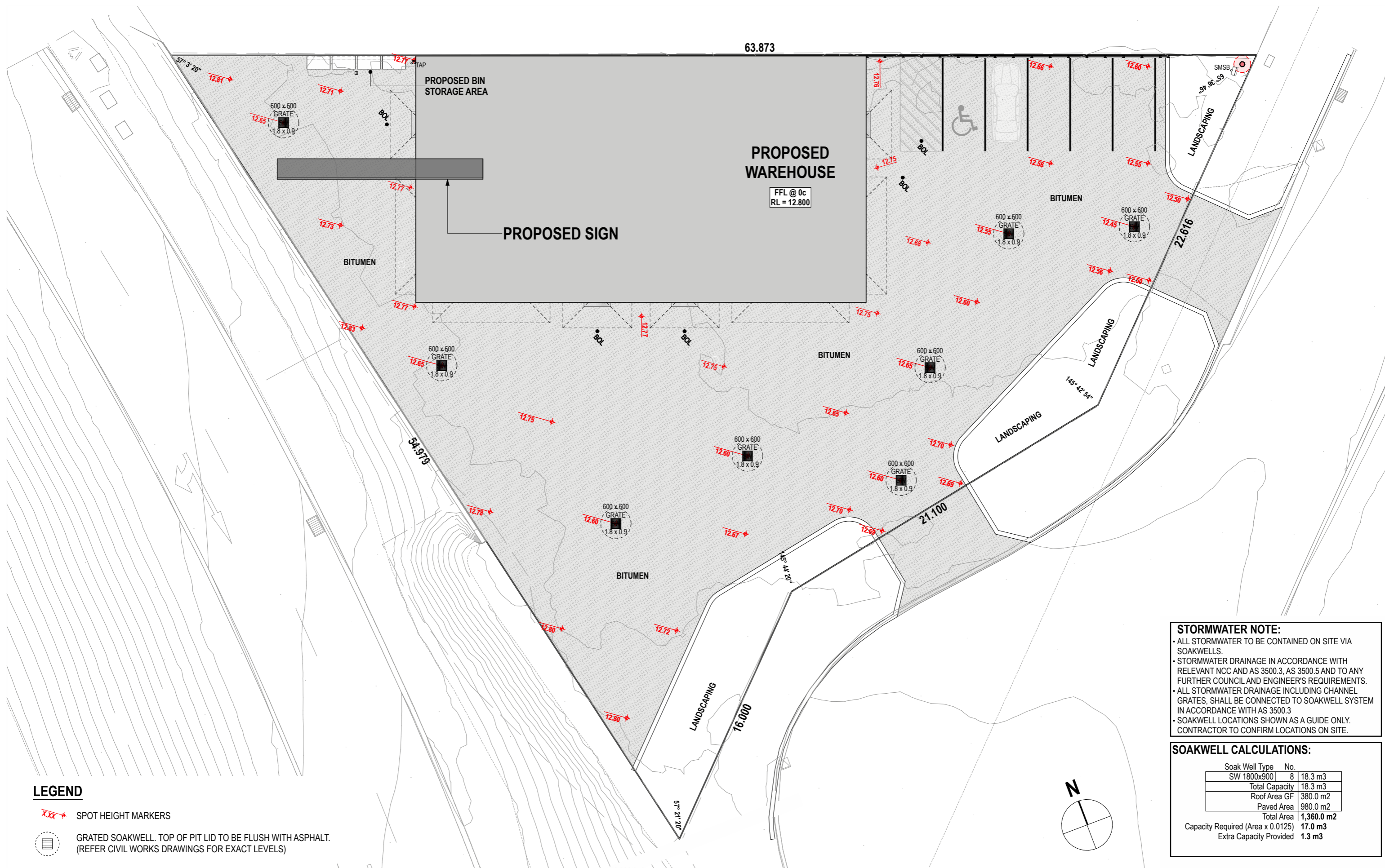
**PROPOSED WAREHOUSE & BILLBOARD**  
**18 DIVISION STREET, WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION



REV	G	JOB No. J25-020	SHEET SIZE ISO A3	SCALE 1:200	SHEET A.07	DRAWING TITLE SITE PLAN
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**CONTEMPO**  
 DESIGN

**GWYTH JONES**



**LEGEND**

-  SPOT HEIGHT MARKERS
-  GRATED SOAKWELL. TOP OF PIT LID TO BE FLUSH WITH ASPHALT. (REFER CIVIL WORKS DRAWINGS FOR EXACT LEVELS)

**STORMWATER NOTE:**

- ALL STORMWATER TO BE CONTAINED ON SITE VIA SOAKWELLS.
- STORMWATER DRAINAGE IN ACCORDANCE WITH RELEVANT NCC AND AS 3500.3, AS 3500.5 AND TO ANY FURTHER COUNCIL AND ENGINEER'S REQUIREMENTS.
- ALL STORMWATER DRAINAGE INCLUDING CHANNEL GRATES, SHALL BE CONNECTED TO SOAKWELL SYSTEM IN ACCORDANCE WITH AS 3500.3
- SOAKWELL LOCATIONS SHOWN AS A GUIDE ONLY. CONTRACTOR TO CONFIRM LOCATIONS ON SITE.

**SOAKWELL CALCULATIONS:**

Soak Well Type	No.	Capacity
SW 1800x900	8	18.3 m3
Total Capacity		18.3 m3
Roof Area GF		380.0 m2
Paved Area		980.0 m2
Total Area		1,360.0 m2
Capacity Required (Area x 0.0125)		17.0 m3
Extra Capacity Provided		1.3 m3

**PROPOSED  
WAREHOUSE  
& BILLBOARD**

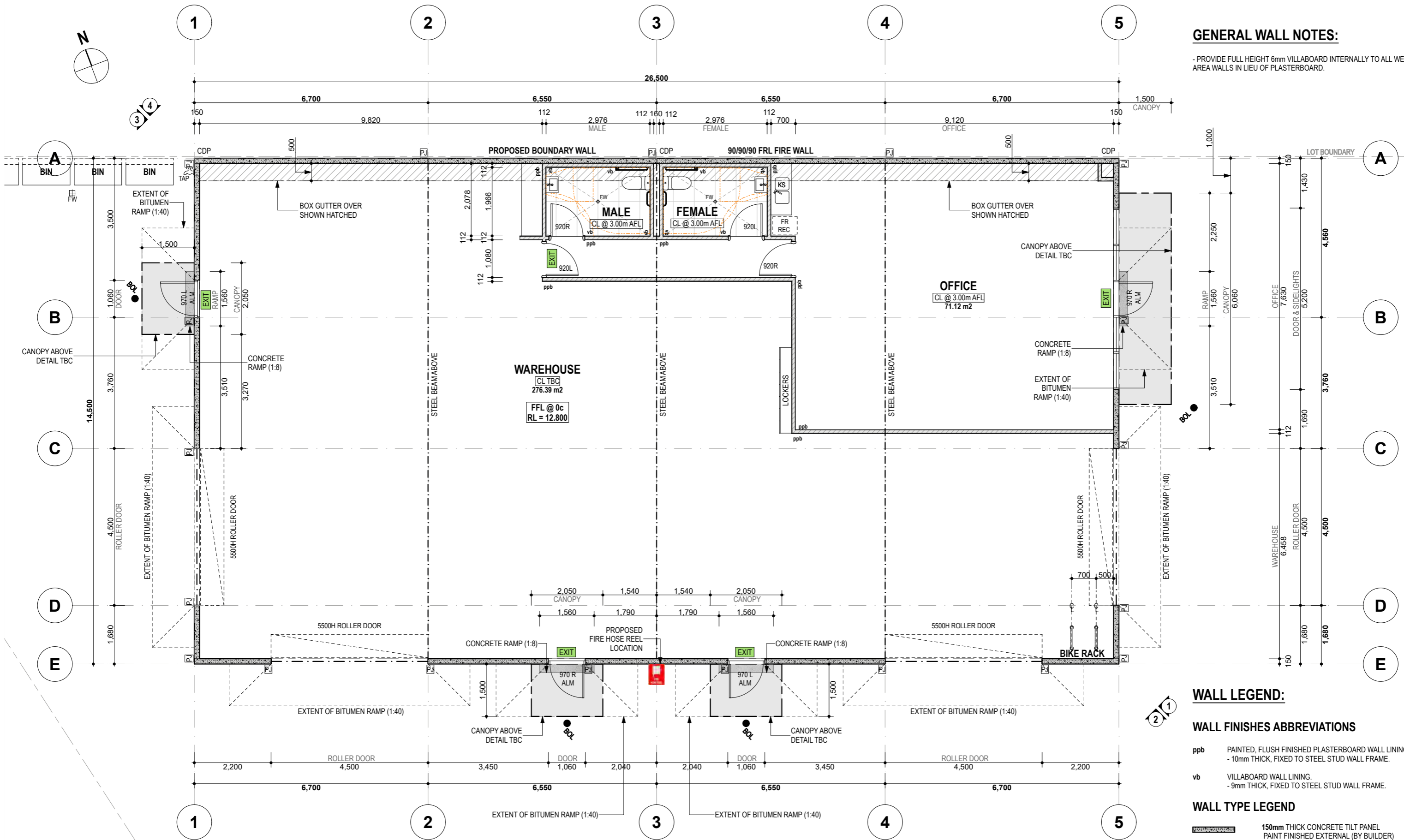
**18 DIVISION STREET,  
WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV **G** JOB No. J25-020 SHEET SIZE ISO A3 SCALE 1:200 SHEET A.08 DRAWING TITLE STORMWATER PLAN

**CONTEMPO**  
DESIGN

**GWYTH  
JONES**



**GENERAL WALL NOTES:**  
 - PROVIDE FULL HEIGHT 6mm VILLABOARD INTERNALLY TO ALL WET AREA WALLS IN LIEU OF PLASTERBOARD.

**WALL LEGEND:**

**WALL FINISHES ABBREVIATIONS**

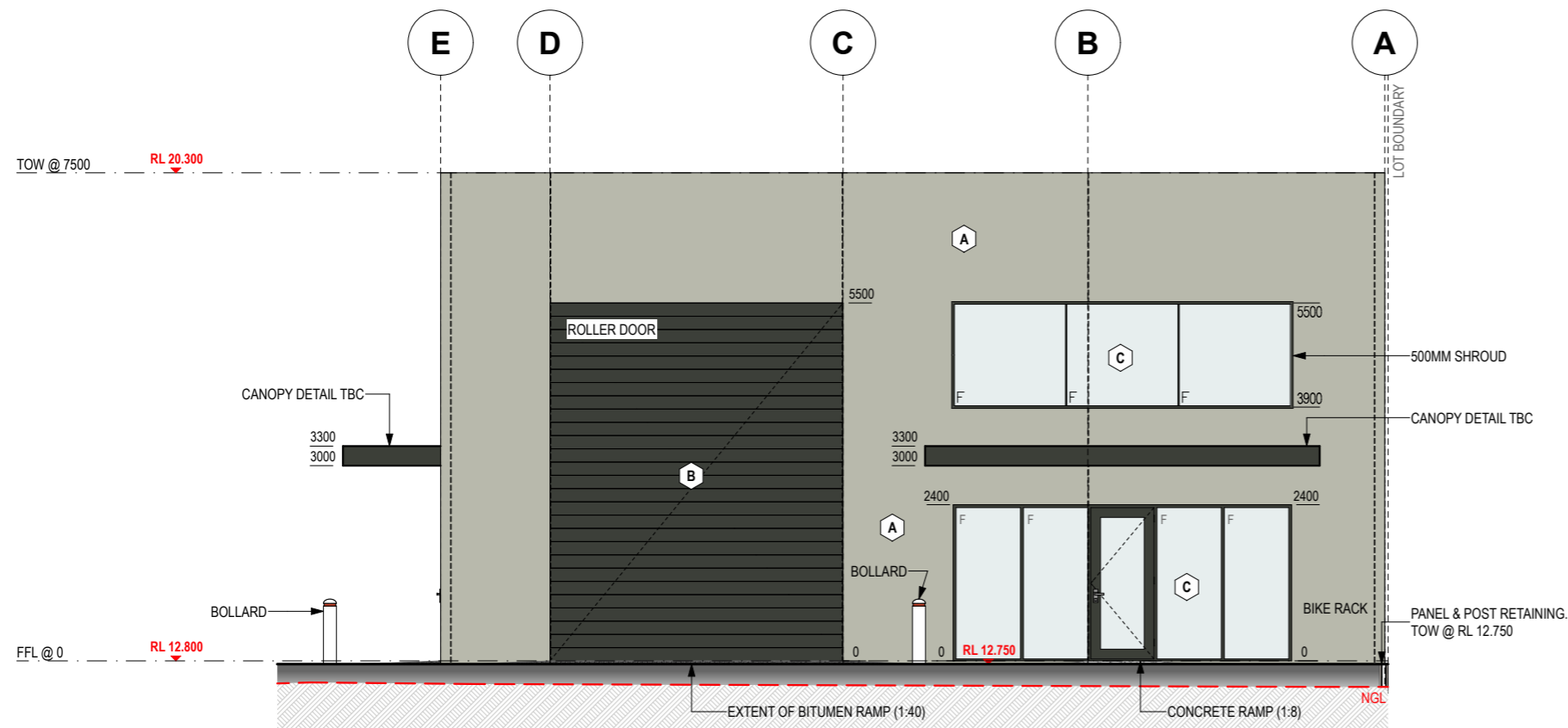
ppb PAINTED, FLUSH FINISHED PLASTERBOARD WALL LINING.  
 - 10mm THICK, FIXED TO STEEL STUD WALL FRAME.

vb VILLABOARD WALL LINING.  
 - 9mm THICK, FIXED TO STEEL STUD WALL FRAME.

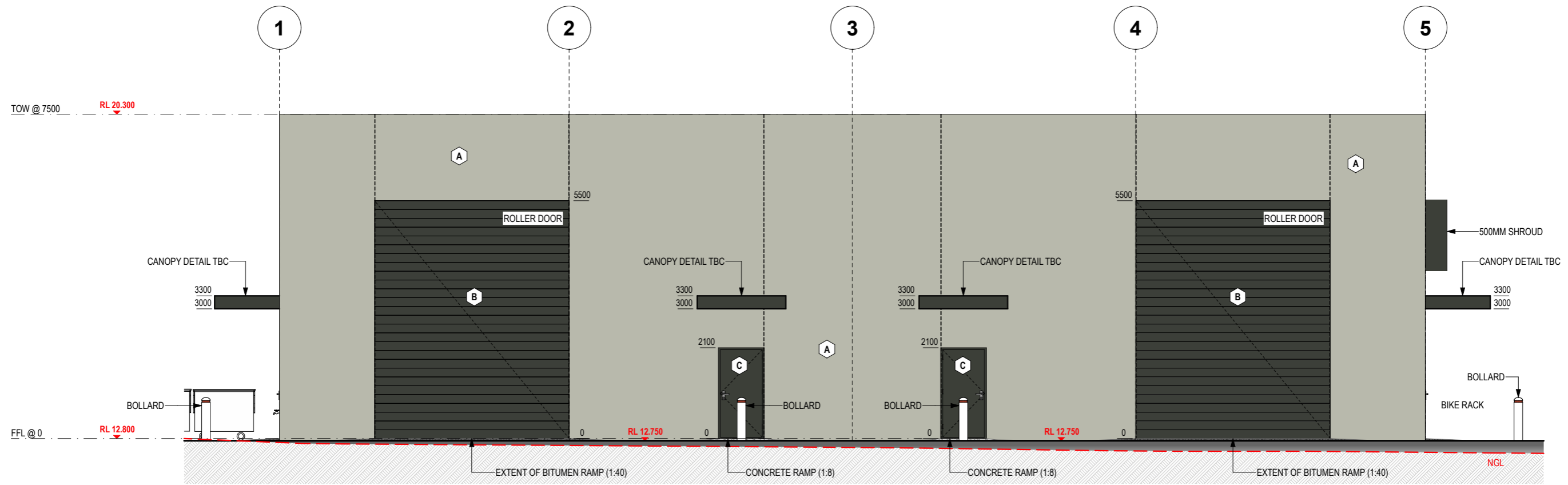
**WALL TYPE LEGEND**

150mm THICK CONCRETE TILT PANEL  
 PAINT FINISHED EXTERNAL (BY BUILDER)

92mm STEEL STUD WALL FRAMING TO  
 MANUFACTURERS SPECIFICATIONS WITH  
 10mm PLASTERBOARD LINING INTERNALLY U.N.O.



**ELEVATION 1**  
1:100  
A.09



**ELEVATION 2**  
1:100  
A.09

**MATERIAL SCHEDULE**

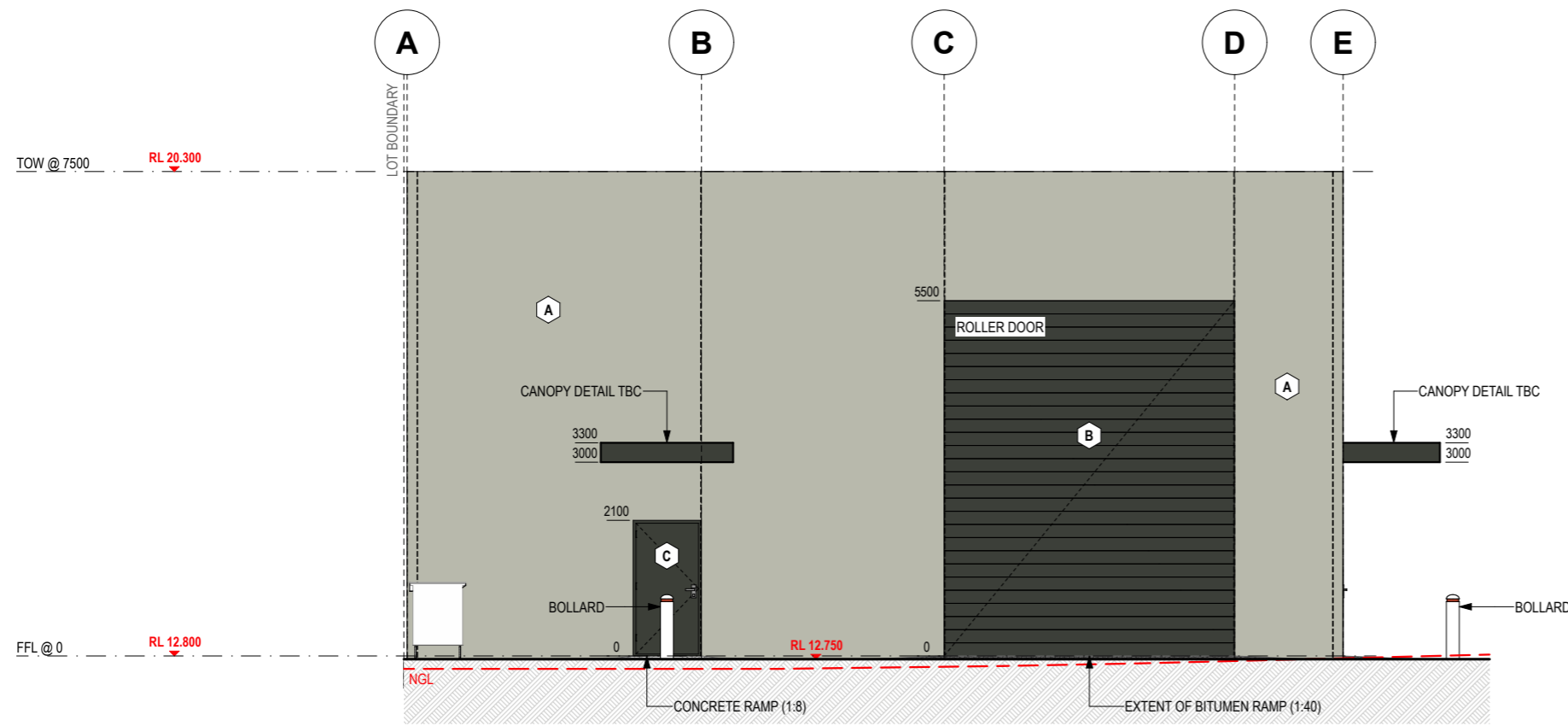
REFER ADENDA FOR SELECTED COLOURS & FINISHES

- A** SEALED CONCRETE FINISH  
COLOUR: NATURAL
- B** ROLLER DOORS  
COLOUR: MONUMENT
- C** ALUMINIUM WINDOW & DOOR FRAMES  
COLOUR: MONUMENT
- D** ROOF COVER  
COLOUR: DOVER WHITE
- E** WALL CAPPING, FLASHING & DOWNPIPES  
COLOUR: MONUMENT

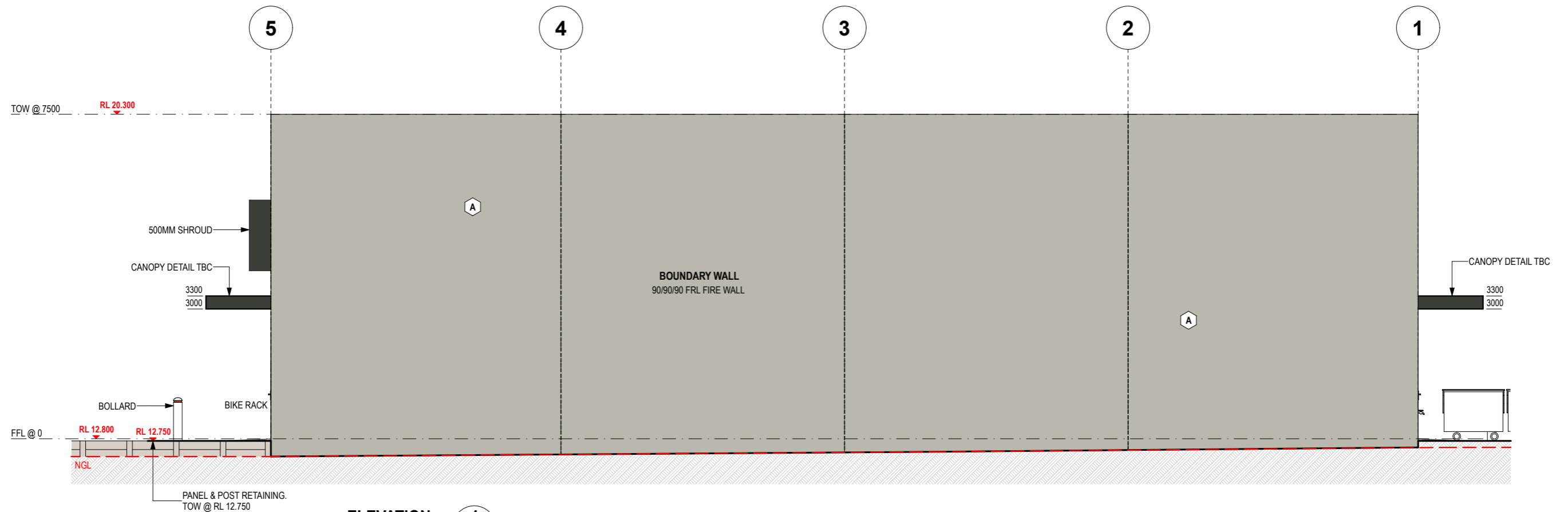
# MATERIAL SCHEDULE

REFER ADENDA FOR SELECTED COLOURS & FINISHES

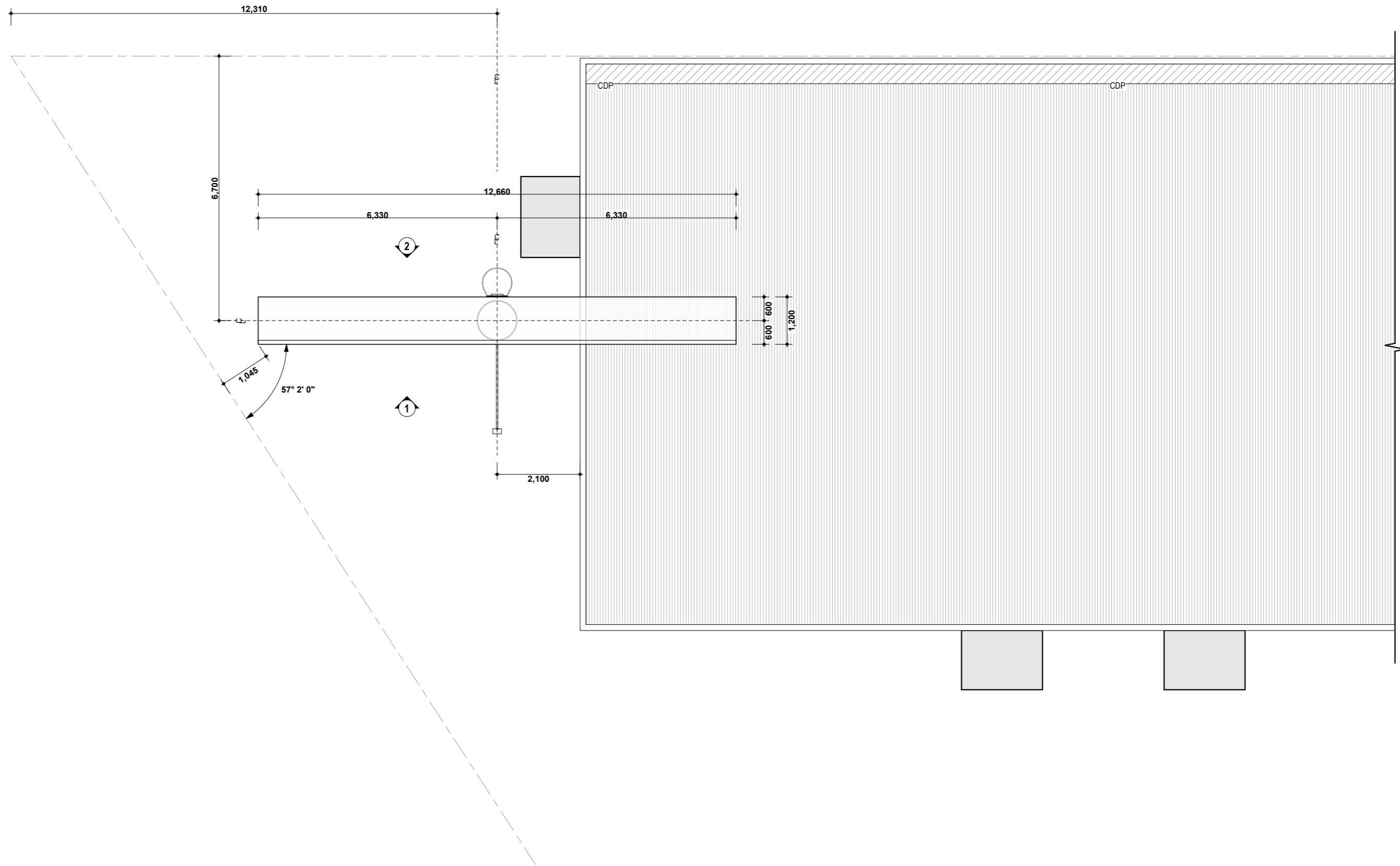
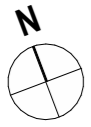
- A** SEALED CONCRETE FINISH  
COLOUR: NATURAL
- B** ROLLER DOORS  
COLOUR: MONUMENT
- C** ALUMINIUM WINDOW & DOOR FRAMES  
COLOUR: MONUMENT
- D** ROOF COVER  
COLOUR: DOVER WHITE
- E** WALL CAPPING, FLASHING & DOWNPIPES  
COLOUR: MONUMENT



**ELEVATION 3**  
1:100  
A.09



**ELEVATION 4**  
1:100  
A.09



PROPOSED  
**WAREHOUSE  
& BILLBOARD**

**18 DIVISION STREET,  
WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV **G** JOB No.  
J25-020

SHEET SIZE  
ISO A3

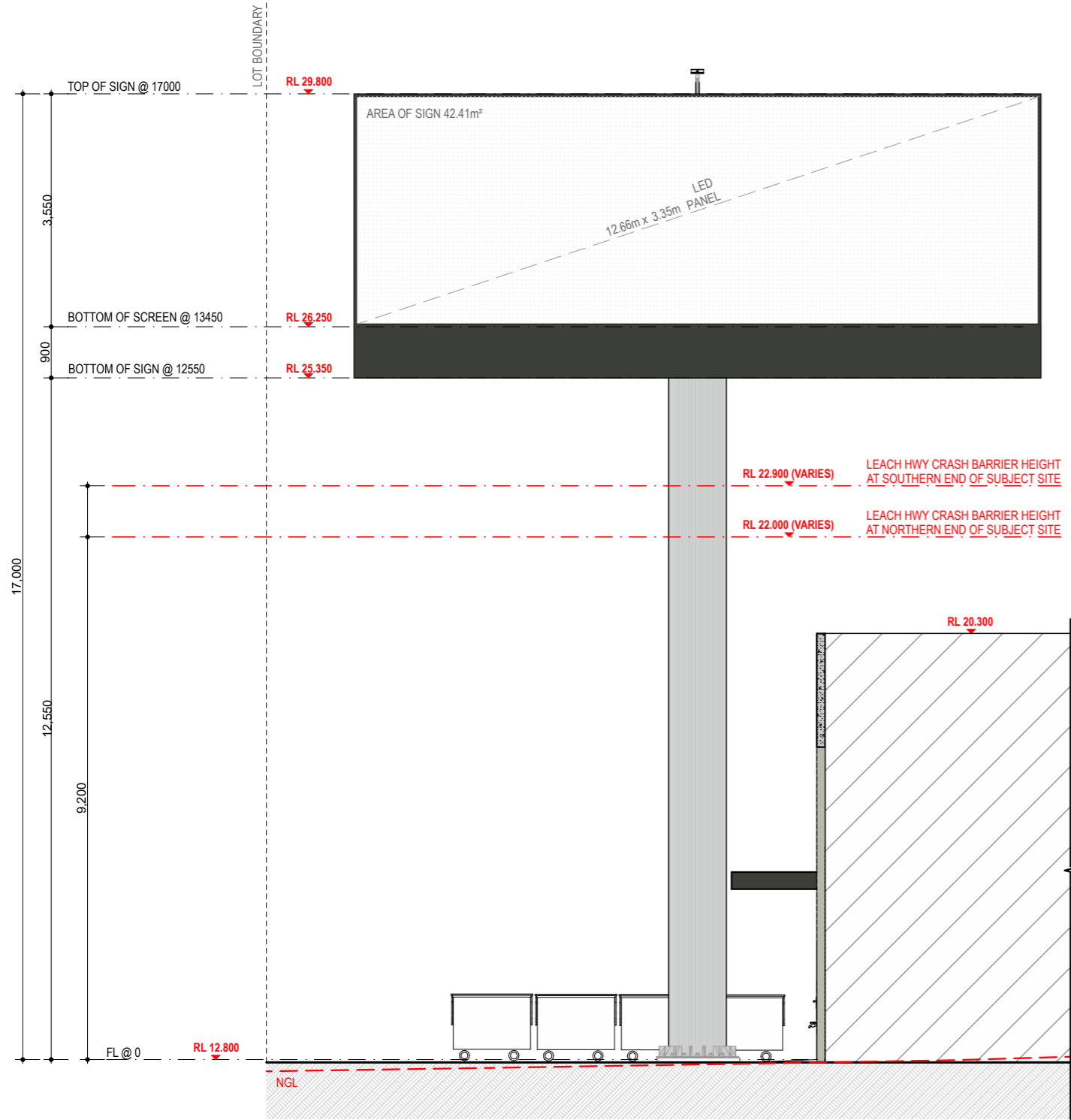
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SHEET  
A.12

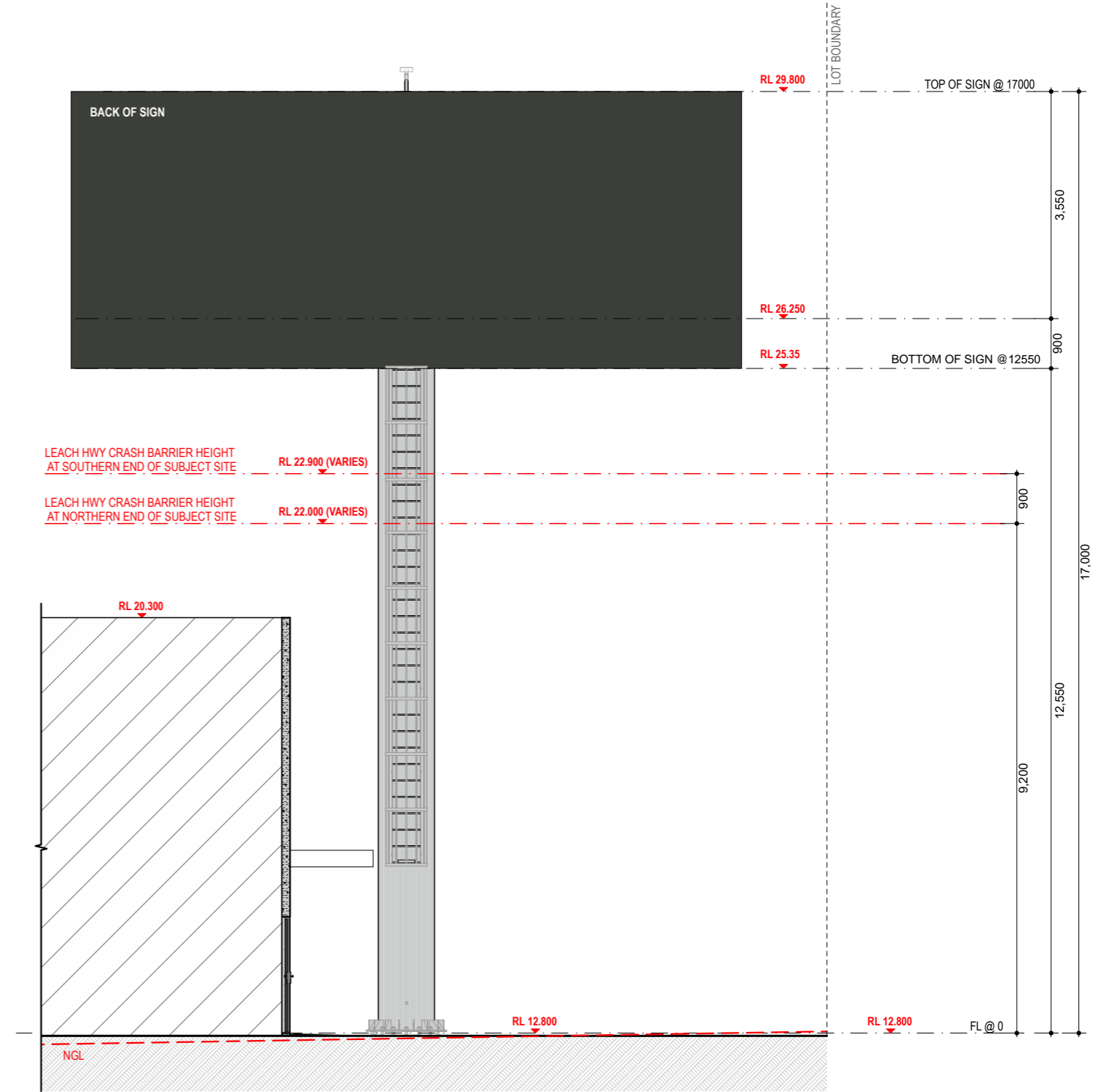
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SIGN PLAN

**CONTEMPO**  
DESIGN

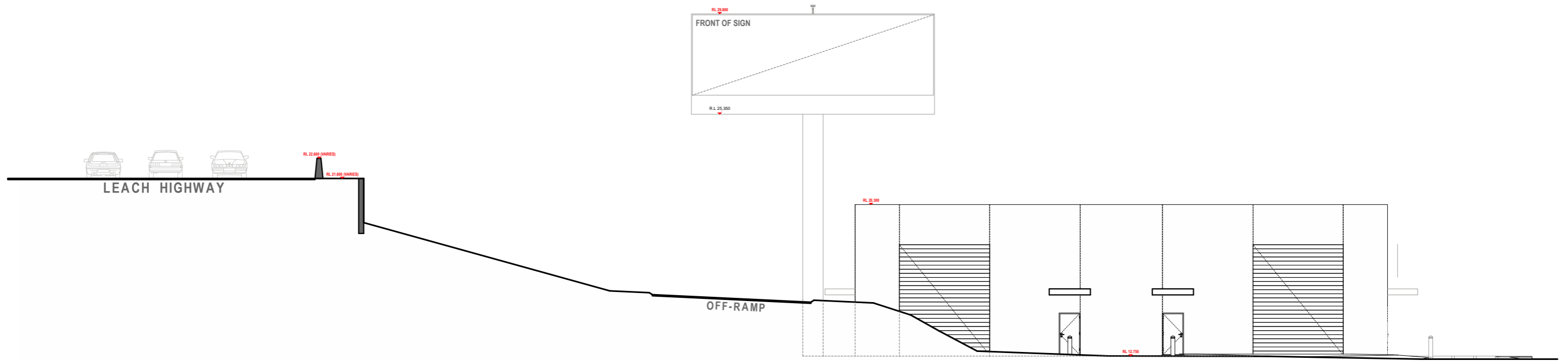




**SIGN ELEVATION 1**  
1:100  
A.12



**SIGN ELEVATION 2**  
1:100  
A.12



SITE SECTION X  
1:200  
A.02

## GENERAL NOTES

### Conceptual Design

The design is concept only and subject to further detailed documentation and coordination with all consultants.

### Material Selection and Installation

All materials and landscape elements must be supplied, installed, and maintained in accordance with manufacturers' and suppliers' specifications and relevant Australian Standards:

AS 4419:2018 – Soils for landscaping and garden use.

AS 4454:2012 – Composts, soil conditioners, and mulches.

AS 3661.1:1993 – Slip resistance of pedestrian surfaces.

### Structural and Engineering Requirements

All construction, including structural components, must be certified and comply with engineering requirements.

Structural works (e.g., retaining walls, pergolas, decks) must comply with AS 4678:2002 (Earth-retaining structures) and any additional applicable Australian Standards.

### Coordination and Documentation

All drawings must be read in conjunction with:

The landscape drawing package.

### Landscape visualizations.

Builder's drawings, architectural drawings, and the site survey.

### Utility Services

Locate and identify all public utility services on-site before the commencement of work. Any service disruptions must be approved by the relevant authorities.

### Paving and Setout

Paving locations shown on drawings are indicative only and must be set out and confirmed on-site. Paving must comply with AS 3727.1:2016 (Guide to residential paving).

Workplace Health and Safety

All contractors must ensure that all works are carried out in accordance with the Work Health and Safety Act 2011 and any other applicable state-specific safety regulations.

### Planting and Tree Setout

The landscape architect must be on-site to oversee the planting setout to ensure compliance with design intent and site-specific conditions.

All planting and trees in or near pool areas and barriers must comply with:

AS 1926.1-2024 – Safety barriers for swimming pools.

Relevant local planning policies for vegetation near pool areas.

### Bushfire Prone Areas

For lots within Bushfire Prone Areas or those with a designated Bushfire Attack Level (BAL), all works must comply with:

WA State Planning Policy 3.7.

Current Bushfire Management Plan for the site.

AS 3959:2018 – Construction of buildings in bushfire-prone areas.

Local Government's Firebreak Notices and Fuel Hazard Reduction Notices.

### Irrigation

Irrigation systems must be designed and installed to comply with AS 2845.3:2021 (Backflow prevention) and ensure water efficiency as per local water authority guidelines.

### Soil Preparation and Mulching

All soil preparation must be carried out in accordance with AS 4419:2018.

Mulching must comply with AS 4454:2012, ensuring it is free of contaminants and appropriate for the plant species specified.

Play Areas and Surfaces (if applicable)

All play equipment and soft fall areas must comply with AS 4685:2021 (Playground equipment and surfacing).

### Maintenance

All landscape elements, including planting, paving, irrigation, and structures, must be maintained by the client to comply with the relevant Australian Standards, local planning policies, and the approved design intent.

### Environmental Protection

Ensure that all works comply with environmental regulations to prevent sedimentation, erosion, or contamination of surrounding areas. Follow AS 3798:2007 for earthworks and site preparation where applicable

SHEET LIST			
Sheet No.	Sheet Name	Size	Rev. No.
1.01	COVER PAGE	ISO A3	1
1.02	SITE PHOTOS	ISO A3	1
2.01	SITE	ISO A3	1
3.01	CONCEPT PLAN	ISO A3	1
4.01	ARTIST IMPRESSIONS	ISO A3	1
4.02	ARTIST IMPRESSIONS	ISO A3	1
4.03	ARTIST IMPRESSIONS	ISO A3	1
4.04	ARTIST IMPRESSIONS	ISO A3	1
4.05	ARTIST IMPRESSIONS	ISO A3	1
4.06	ARTIST IMPRESSIONS	ISO A3	1
4.07	ARTIST IMPRESSIONS	ISO A3	1
4.08	ARTIST IMPRESSIONS	ISO A3	1
5.01	HARDSCAPE PLAN NOTES	ISO A3	1
6.01	PLANTING PLAN	ISO A3	1
6.02	PLANTING SCHEDULE	ISO A3	1
6.03	PLANTING SPECIFICATION	ISO A3	1
8.01	DETAILS	ISO A3	1
8.02	DETAILS	ISO A3	1
8.03	DETAILS	ISO A3	1

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LANDSCAPE ARCHITECTURE

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CLIENT

JONES

DRAWING

COVER PAGE

REVISION

SCALE

1:200 @ A3

18 DIVISION STREET, WELSHPOOL

DRAWING

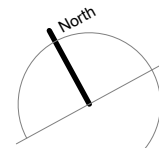
1.01

1

PROJECT NUMBER

0095\_LS\_

22.05.2025





NOTE:  
 Concept only  
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CLIENT

JONES

DRAWING

SITE PHOTOS

REVISION

18 DIVISION STREET, WELSHPOOL

PROJECT NUMBER

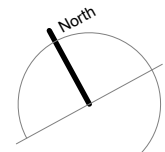
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1.02



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22.05.2025

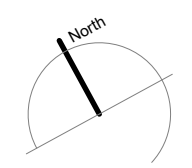


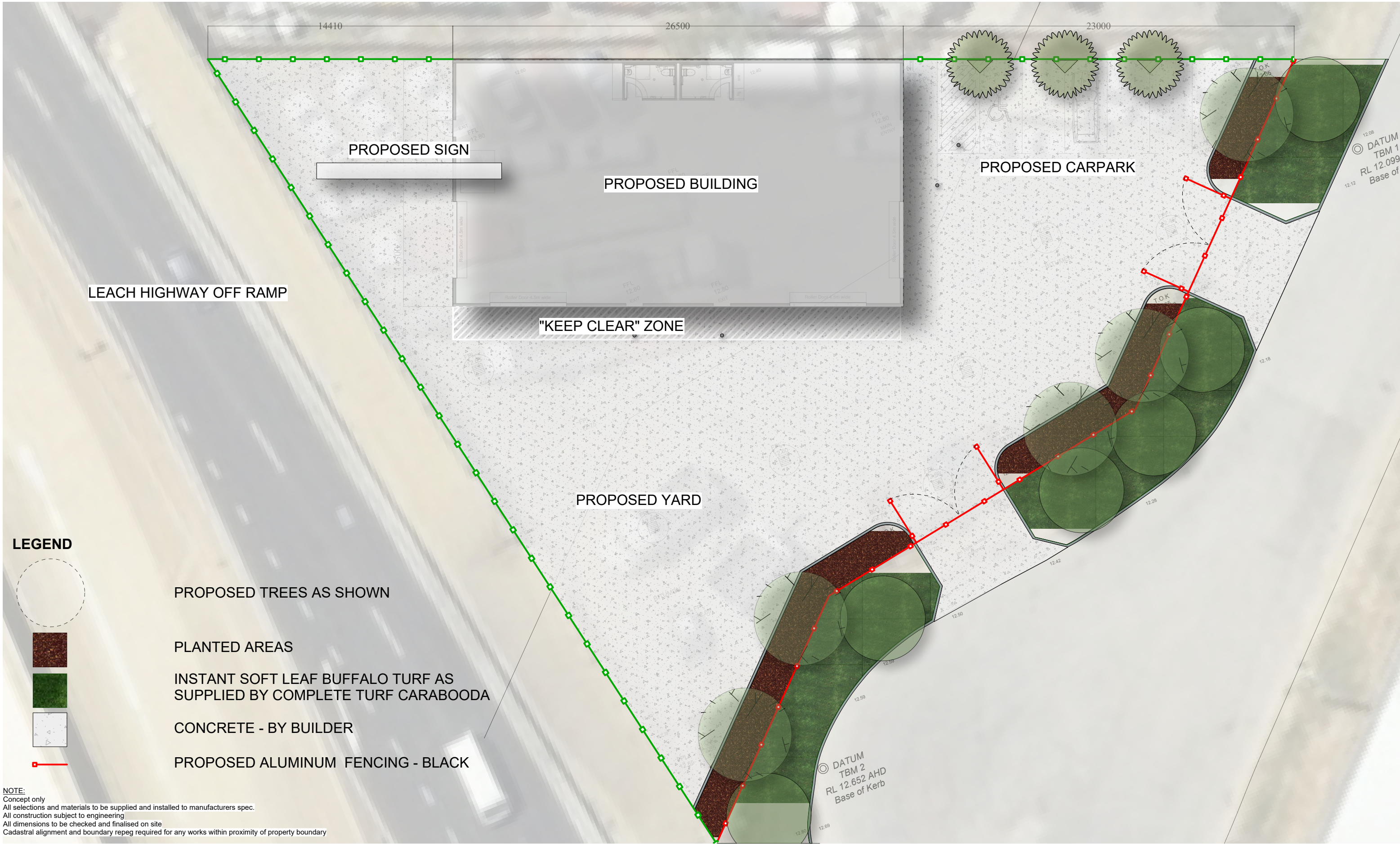
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CLIENT	JONES	DRAWING	SITE	REVISION
18 DIVISION STREET, WELSHPOOL		SCALE	1:300 @ A3	<b>1</b>
PROJECT NUMBER	0095_LS_	DRAWING	<b>2.01</b>	
22.05.2025				

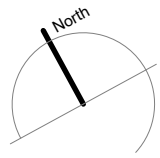




**LEGEND**

-  PROPOSED TREES AS SHOWN
-  PLANTED AREAS
-  INSTANT SOFT LEAF BUFFALO TURF AS SUPPLIED BY COMPLETE TURF CARABOODA
-  CONCRETE - BY BUILDER
-  PROPOSED ALUMINUM FENCING - BLACK

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CLIENT  PROJECT NUMBER	JONES  18 DIVISION STREET, WELSHPOOL  0095_LS_	DRAWING  SCALE  DRAWING	CONCEPT PLAN  1:200 @ A3  <b>3.01</b>		REVISION  <b>1</b>  22.05.2025
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ARTIST IMPRESSIONS

SCALE

1:200 @ A3

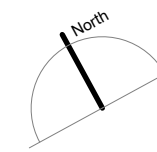
18 DIVISION STREET, WELSHPOOL

DRAWING

**4.01**

PROJECT NUMBER

0095\_LS\_



REVISION

**1**

22.05.2025

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ARTIST IMPRESSIONS

SCALE

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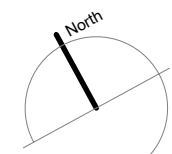
18 DIVISION STREET, WELSHPOOL

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**4.02**

PROJECT NUMBER

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REVISION

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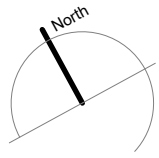
22.05.2025

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CLIENT	JONES	DRAWING	ARTIST IMPRESSIONS		REVISION
18 DIVISION STREET, WELSHPOOL		SCALE	1:200 @ A3		<b>1</b>
PROJECT NUMBER	0095_LS_	DRAWING	<b>4.03</b>		

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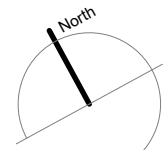
ARTIST IMPRESSIONS

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18 DIVISION STREET, WELSHPOOL

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PROJECT NUMBER

0095\_LS\_

DRAWING

4.04

22.05.2025

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ARTIST IMPRESSIONS

SCALE

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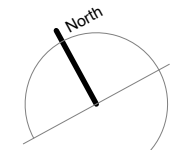
18 DIVISION STREET, WELSHPOOL

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**4.05**

PROJECT NUMBER

0095\_LS\_



REVISION

**1**

22.05.2025

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ARTIST IMPRESSIONS

SCALE

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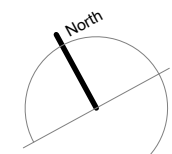
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**4.06**

PROJECT NUMBER

0095\_LS\_



REVISION

**1**

22.05.2025

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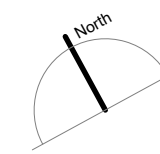
ARTIST IMPRESSIONS

REVISION

18 DIVISION STREET, WELSHPOOL

SCALE

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PROJECT NUMBER

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DRAWING

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22.05.2025

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ARTIST IMPRESSIONS

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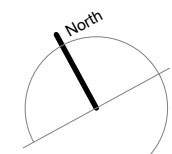
18 DIVISION STREET, WELSHPOOL

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**4.08**

PROJECT NUMBER

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REVISION

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22.05.2025

**GENERAL NOTES**

**Concept Design**

The design is concept only and subject to further detailed documentation, coordination with consultants, and client approval.

**Material Selection and Installation**

All materials and landscape elements must be supplied, installed, and maintained in accordance with manufacturers' and suppliers' specifications and relevant Australian Standards:

AS 4419:2018 – Soils for landscaping and garden use.

AS 4454:2012 – Composts, soil conditioners, and mulches.

AS 3661.1:1993 – Slip resistance of pedestrian surfaces.

**Structural and Engineering Requirements**

All construction, including structural components, must be certified by a qualified structural engineer and comply with the following:

AS 4678:2002 – Earth-retaining structures.

AS 3600:2018 – Concrete structures.

AS 4100:2020 – Steel structures.

**Coordination and Documentation**

Drawings must be read in conjunction with the landscape drawing package, builder's drawings, architectural drawings, and site survey. Any discrepancies must be reported to Kylan Yoxall and the client immediately.

**Utility Services**

Locate and confirm the position of all public utility services on-site prior to the commencement of any works. Coordination with service authorities is required for any disruptions.

**Paving and Setout**

All paving shown on drawings is indicative only and must be set out and confirmed on-site in compliance with:

AS 3727.1:2016 – Guide to residential paving.

**Workplace Health and Safety**

All works must comply with the Work Health and Safety Act 2011, and all contractors are responsible for ensuring the safety of the site and workers.

**Planting and Trees**

The landscape architect must be present during the planting setout to ensure compliance with design intent.

All planting and trees in or near pool areas must be installed and maintained to comply with:

AS 1926.1-2024 – Safety barriers for swimming pools.

Relevant local planning policies.

**HARDSCAPE NOTES**

**General Compliance**

All contractors must comply with:

Relevant Australian Standards.

**Building regulations.**

Local council planning and building permits.

All structural works must be certified by a qualified structural engineer before construction begins.

A full site setout must be completed and confirmed prior to commencing any works. Any discrepancies must be immediately reported to Kylan Yoxall and the client for clarification.

**Site Cleanliness**

The site must be left in a clean and safe state at the end of each workday.

A final site clean-up must be completed at the end of the project and approved by the client. This includes but is not limited to:

High-pressure cleaning of all paving.

Removal of all rubbish and debris from the site.

Ensuring all installed items are fully operational, including:

Garden lighting (to comply with AS/NZS 3000:2018 for electrical installations).

Irrigation systems (to comply with AS 2845.3:2021 – Backflow prevention).

Pool filtration systems (to comply with relevant standards and manufacturer specifications).

**Installation Requirements**

All items must be installed in accordance with:

Relevant Australian Standards, including but not limited to:

AS 1428.1:2021 – Design for access and mobility (where applicable).

AS 4685:2021 – Playground equipment and surfacing (if applicable).

Building regulations and local planning policies.

Manufacturers' and suppliers' specifications.

**Hardscape Features**

All hardscape elements, including paving, retaining walls, fencing, and decks, must meet the relevant standards:

AS 3958.1:2007 – Ceramic tiles (for tiled surfaces).

AS 3700:2018 – Masonry structures (for retaining walls).

AS 1926.1-2024 – Pool barriers (for pool-adjacent elements).

AS 2047:2014 – Windows and external glazed elements (if applicable to design).



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HARDSCAPE PLAN NOTES

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18 DIVISION STREET, WELSHPOOL

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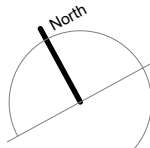
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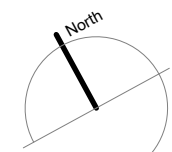
22.05.2025



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FOR PLANT INFORMATION AND IMAGES PLEASE FEEL FREE TO VISIT:  
[WWW.YLA.STUDIO](http://WWW.YLA.STUDIO) AND CLICK ON THE PLANTS TAB IN THE TOP RIGHT  
 THE PASSWORD IS:  
 GardenGuest

Plant List						
ID	Qty	Common Name	Botanical Name	Scheduled Size	Mature Height	Mature Spread
<b>Trees</b>						
CF	6	Red flowering gum "Fairy Floss"	Corymbia ficifolia	90Lt	4-7m	4-6m
CTU-1	5	Tuckeroo	Cupaniopsis anacardioides	90Lt	5-9m	3.5 - 6m
PN	3	Snow Pear	Pyrus nivalis	90Lt	5m	3.5 - 6m
<b>Shrubs</b>						
Agr	32	Kangaroo Paw Red	Anigozanthos Flavidus Red	200mm	NA	NA
Cds	88	Desert Star Natal Plum	Carissa Desert Star	200mm	NA	NA
Lsn	35	Silver Nugget	Leucaphyta brownii Dome	200mm	NA	NA
<b>Ground Covers</b>						
Egp	36	Kalbarri Carpet	Eremophila glabra	200mm	NA	NA
Ggg	73	Gin Gin Gem	Grevillea obtusifolia prostrate	200mm	NA	NA
<b>Grasses</b>						
Lt	63	Spiny-head mat rush	Lomandra longifolia 'Tanika'	200mm	NA	NA
<b>Total</b>	<b>341</b>					



**ENSURE LANDSCAPE ARCHITECT IS CONTACTED 14 DAYS PRIOR TO PLANTING INSTALLAND TREE INSTALL TO ALLOW FOR PLANT SETOUT**

**GENERAL NOTES**

The drawings shall be read in conjunction with all other consultants' drawings and specifications.

All discrepancies shall be referred to the Superintendent for a decision before proceeding with the work.

Do not scale from the drawings.

Use referenced Australian or other Standards (including amendments), and the BCA, including state and territory variations current three months before the date of the contract, except where other editions or amendments are required by statutory authorities. Any local authority requirements take precedence.

**LANDSCAPE NOTES**

**Soils & Surfaces**

Final grading shall provide surfaces free from depressions, irregularities, and noticeable changes in grade. Generally, grades shall deviate in level no greater than 20mm in one linear metre.

Site and imported topsoil: To AS 4419:2018.

Potting mixes: To AS 3743:2021.

Composts, soil conditioners, and mulches: To AS 4454:2012.

Turf areas to be cleared of all roots, rocks, and builders' rubble. A mix of Peat Plus by Good Earth Soils or Grow Organic Soil Improver by Good Earth Soils (in a 1/3 ratio) shall be cultivated through the existing soil to a depth of 100mm with a rotary hoe. Where access for a rotary hoe is limited, the soil improver can be dug in to the same depth.

Planted areas to be cleared of all roots, rocks, and builders' rubble. A mix of Peat Plus by Good Earth Soils or Grow Organic Soil Improver by Good Earth Soils (in a 1/3 ratio) shall be cultivated through the existing soil to a depth of 200mm with a rotary hoe. Where access for a rotary hoe is limited, the soil improver can be dug in to the same depth.

Planted areas shall be mulched with 'Fine Black' mulch unless otherwise stated and approved, to a minimum depth of 75mm.

**Planting & Trees**

Trees shall be staked with 3No. 50mm x 50mm x 1800mm Jarrah stakes. Stakes shall be painted black and installed to a minimum depth of 600mm. Trees shall be secured to poles with 3 x rubber ties in a figure-8 pattern.

Trees planted within 1000mm of walls shall be installed with a 600mm depth Nylex root barrier membrane. The membrane shall be installed as per the manufacturer's recommendations.

Plants to be set out in offset rows with consistent spacing to fill designated areas.

**Supply and Delivery:** Supply plants from a nursery with NIASA accreditation and deliver to the site with a label displaying the botanical name.

**Health:** Supply plants with foliage size, texture, and colour consistent with healthy specimens of the nominated species.

**Vigour:** Supply plants with extension growth consistent with vigorous specimens of the species nominated.

**Damage:** Supply plants free from damage and restricted habit due to growth in nursery rows.

**Pests and Disease:** Supply plants with foliage free from pest or disease attack. Tube stock must be protected from kangaroo browsing through the use of appropriate barriers. A minimum of 1.2-meter-high fencing is recommended around areas with newly planted tube stock.

**Turf**

Turf shall be instant 'Soft Leaf Buffalo' unless otherwise noted.

Turf shall be cultivated turf of even thickness, free from weeds and foreign matter.

**Supply:** Deliver turf within 24 hours of cutting and lay within 36 hours. Prevent drying out between cutting and laying.

**Laying:** Lay turf in a stretcher bond pattern with staggered joints, ensuring joints are close-butted.

**Tamping:** Lightly tamp to an even surface immediately after laying. Do not use a roller.

**Fertilising:** Apply lawn fertiliser at the completion of the first and last mowing and as required to maintain healthy grass cover.

**Watering:** Water immediately after laying to moisten the topsoil to its full depth. Maintain moisture at this depth.

**Steel Edging**

All turf areas to be edged by 100mm high Straightcurve edging.

**Fertiliser**

Provide proprietary fertilisers delivered to the site in sealed bags marked with manufacturer/vendor details, weight, fertiliser type, N:P:K ratio, recommended uses, and application rates.

**Irrigation**

Water Source: [Mains water.](#)

Irrigation sleeves beneath paved surfaces to be provided by the builder.

Irrigation to be designed to suit water pressure.

Irrigation system to be hard-wired and fully automatic, with the controller located on an external wall.

Planting to be irrigated with Netafim Techline to the manufacturer's specifications.

Trees to be irrigated by Toro Flood Bubblers with suitable sprinkler bodies and risers on a dedicated station.

Turf to be irrigated by MP Rotators and overlap sufficiently to maintain consistent growth

**Soils for Australian Native Plants**

Australian native plants generally require soils with specific properties that align with their natural environments. The following soil characteristics are recommended:

**pH Level:**

Soil pH should ideally be slightly acidic to neutral, between 5.5 to 6.5. This range mimics the natural conditions where many Australian natives thrive.

Avoid strongly alkaline or highly acidic soils.

**Acidity Level:**

Slightly acidic conditions, typically within the 5.5 to 6.5 pH range, support optimal nutrient uptake for most native plants.

**Salinity:**

Australian natives generally prefer low salinity conditions. Soils should have an EC (Electrical Conductivity) less than 1.0 dS/m.

High salinity levels can damage the plant's root systems and inhibit healthy growth.

**Soil Texture:**

Well-draining, sandy or loamy soils are preferred for most Australian natives.

Avoid heavy clay soils, which retain excess moisture and can promote root rot.

**Organic Matter:**

A low to moderate level of organic matter is beneficial. Incorporate Peat Plus by Good Earth Soils or Grow Organic Soil Improver by Good Earth Soils (in a 1/3 ratio) to improve soil structure without overwhelming the natural ecosystem.

**Soils for General Garden Plants**

General garden plants, including both ornamental and functional species, thrive in soils that provide balanced conditions for growth. The following soil parameters are suitable for a wide range of garden plants:

**pH Level:**

General garden plants tend to do well in neutral soils, with a pH range of 6.0 to 7.0. This ensures a broad variety of plants will have optimal nutrient uptake.

**Acidity Level:**

For most garden plants, the acidity should fall between 5.5 and 7.0, which provides a balance for nutrient availability.

**Salinity:**

The salinity should remain low, with soil EC below 1.5 dS/m to prevent damage to the plant roots and promote healthy growth.

**Soil Texture:**

A well-draining soil that retains adequate moisture is ideal. Loam and sandy-loam soils are commonly recommended.

If the soil is too heavy (clay), organic matter such as Peat Plus by Good Earth Soils or Grow Organic Soil Improver by Good Earth Soils (in a 1/3 ratio) can be added to improve aeration and drainage.

**Organic Matter:**

Garden plants benefit from a moderate to high level of organic matter, typically around 5% to 10% by volume. Adding organic material such as compost and soil improvers (like Peat Plus or Grow Organic Soil Improver) helps improve soil structure, water retention, and nutrient availability.

**General Guidelines for Soil Preparation**

**Soil Testing:**

Conduct soil tests to determine the current pH, acidity, salinity, and nutrient content. Amend soil accordingly to meet the specific needs of the plant species you are working with.

**Soil Amendments:**

For areas requiring soil conditioning, incorporate a mixture of organic matter such as Peat Plus by Good Earth Soils or Grow Organic Soil Improver by Good Earth Soils to adjust the soil texture, pH, and fertility.

**Compaction:**

Avoid soil compaction, which limits root growth and water infiltration. Use proper machinery and techniques to maintain loose, aerated soil that promotes healthy plant root development.

**Plant Stock Sourcing**

**Advance Sourcing:**

All plants required for the project must be sourced and confirmed a minimum of two months prior to the scheduled planting installation date. This allows sufficient time for nursery orders, stock availability checks, and ensures that plants are of the correct size, variety, and quality for the design intent.

**Contract Growing:**

Where specific plant varieties or sizes are not readily available, it is recommended that the landscape contractor contact a reputable nursery and arrange for contract growing. This process involves the nursery growing plants specifically for the project, ensuring that the plants meet the required specifications at the time of installation.

Contract growing should be initiated as early as possible to ensure that plant material reaches the desired size and condition by the time of planting.

**Stock Holding:**

If possible, it may be advantageous to arrange for plants to be held in a nursery facility prior to installation, particularly for large quantities or high-value plants. This ensures that the plants are kept in the best condition before planting and avoids the risk of stock being sold to other buyers.

A clear agreement should be made with the nursery about the storage, care, and maintenance of the plants while they are waiting to be installed on site.

**Site Preparation for Planting:**

Prior to the delivery of plants, ensure that the site is fully prepared to accommodate the plant material. Any required soil conditioning, irrigation setup, and planting area preparation should be completed ahead of time to minimize delays once the plants arrive.

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	18 DIVISION STREET, WELSHPOOL		SCALE	1:200 @ A3		<h1>1</h1>
	PROJECT NUMBER	0095_LS_	DRAWING	6.03		

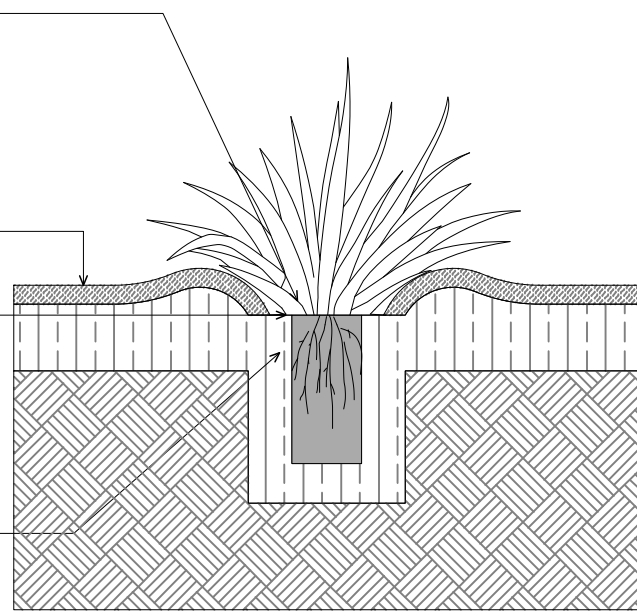
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PLANTS SHOULD BE PLACED SO THAT THE TOP OF THE ROOTBALL IS THE SAME LEVEL AS FINISHED SOIL LEVEL AND THAT THE SOIL OR MULCH SHOULD NOT COVER PLANTS STEM, TO AVOID CROWN ROT

MULCHED WITH 'FINE BLACK' MULCH AS SUPPLIED TO A MINIMUM DEPTH OF 75MM

MULCH DEPRESSION AROUND BASE TO ACT AS RESERVOIR

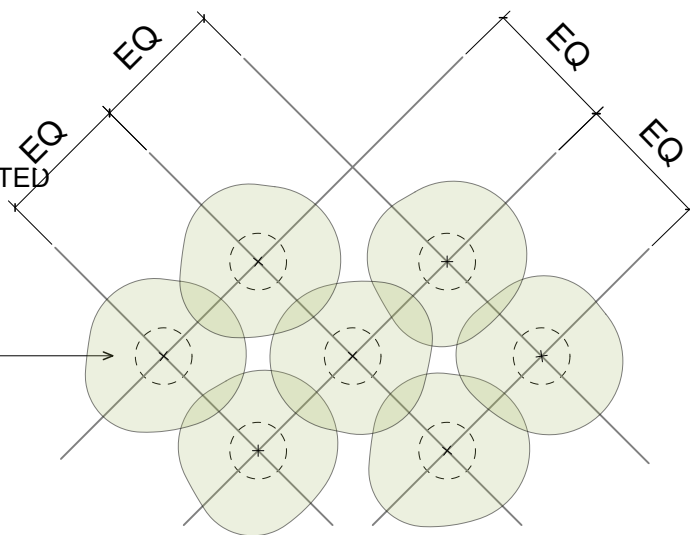
DIG IN ORGANIC MATTER TO 50-75MM DEPTH INTO EXISTING SOIL BEFORE PLANTING. ONCE ROOTBALL HAS BEEN POSITIONED, BACKFILL WITH 100MM OF FRESH IMPORTED SOIL



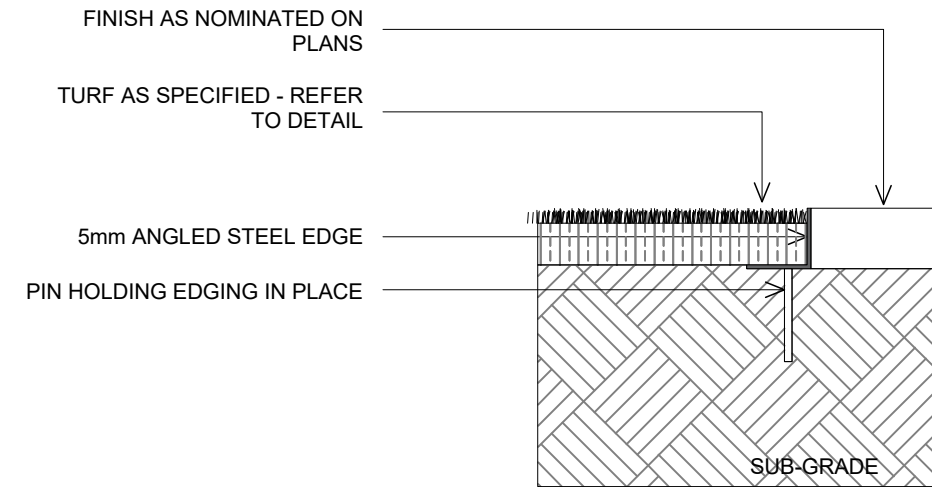
**1 TYPICAL PLANTING**  
 8.01 Scale: 1:20

**NOTE:**  
 IF EVEN NUMBERS ARE NOMINATED - CONFIRM WITH LANDSCAPE ARCHITECT

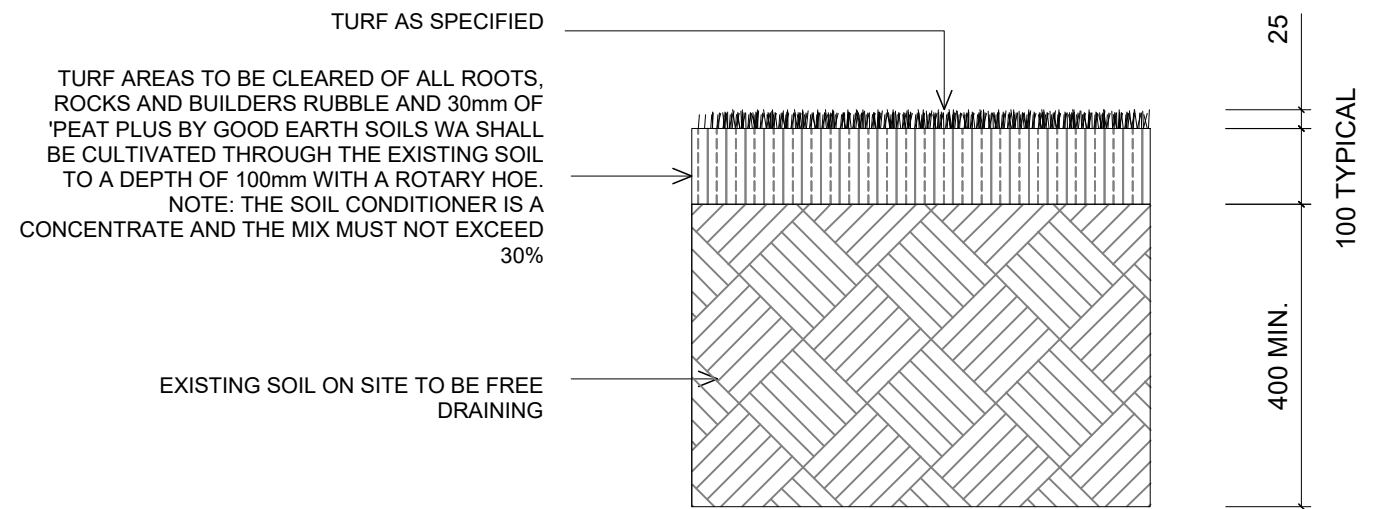
TYPICAL STAGGER PATTERN FOR LARGE PLANTED SPACES - ALWAYS PLANT IN ODD NUMBERS (1,3,5,7,9 ECT)



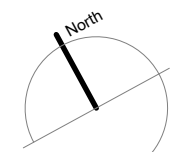
**3 TYPICAL PLANTING LAYOUT**  
 8.01 Scale: 1:20



**2 TYPICAL LAWN EDGE**  
 8.01 Scale: 1:10



**4 TYPICAL ROLL ON LAWN**  
 8.01 Scale: 1:10



**NOTE:**  
 Concept only  
 All selections and materials to be supplied and installed to manufacturers spec.  
 All construction subject to engineering  
 All dimensions to be checked and finalised on site  
 Cadastral alignment and boundary repeg required for any works within proximity of property boundary



TREES SHOULD BE PLACED SO THAT THE TOP OF THE ROOTBALL IS AT THE SAME LEVEL AS THE FINISHED SOIL LEVEL AND THAT THE SOIL OR MULCH SHOULD NOT COVER THE PLANT'S TRUNK, TO AVOID CROWN ROT.

MULCHED WITH 'FINE BLACK' MULCH AS SUPPLIED TO A MINIMUM DEPTH OF 75MM

RE-CONDITION SOIL TO 400MM DEEP WITH COMPOSTED WEED-FREE GARDEN SOIL.

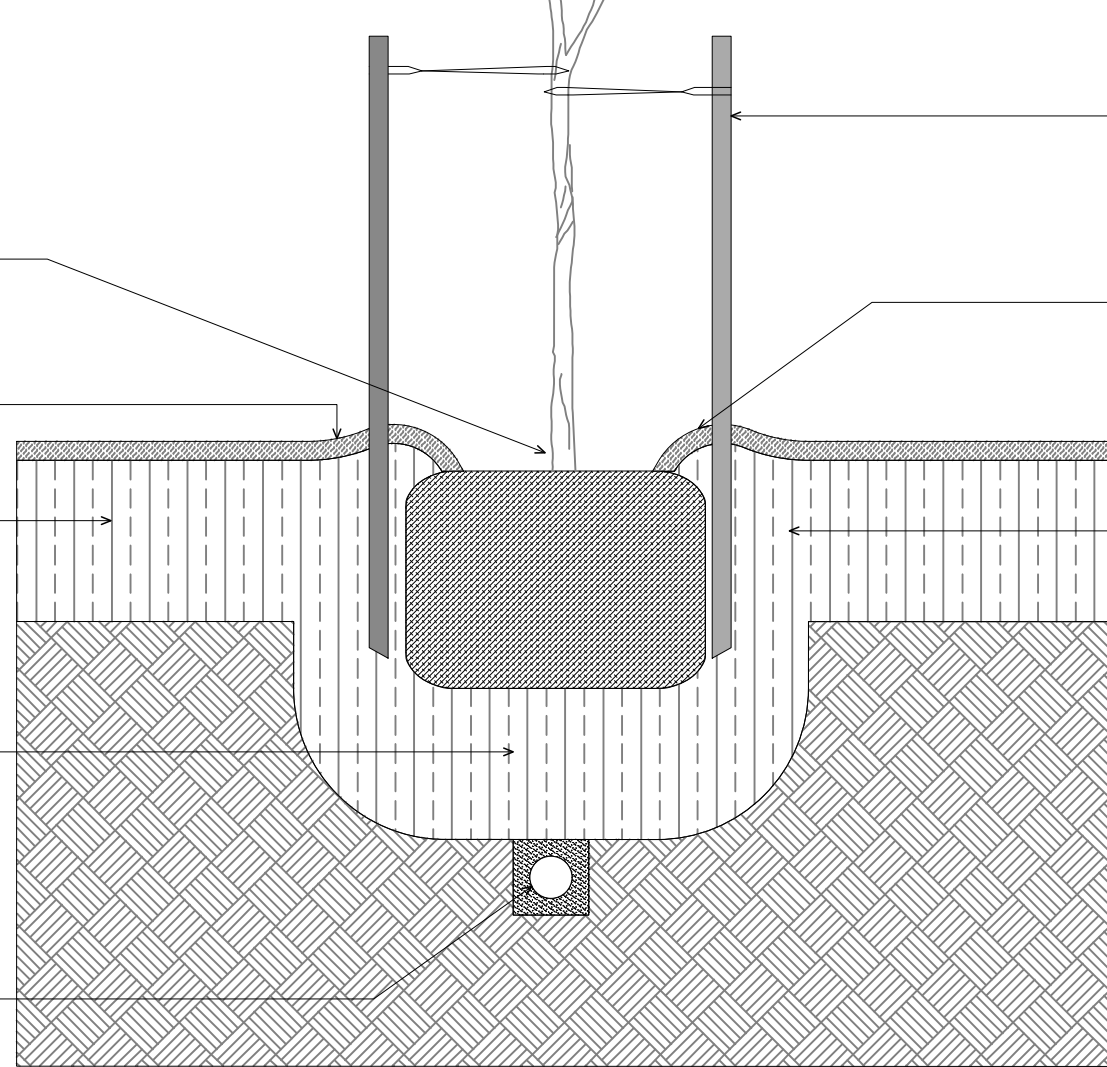
OVER-EXCAVATE HOLE BY AT LEAST 2 TIMES THE WIDTH & SLIGHTLY DEEPER THAN THE TREE'S ROOTBALL. IF THE EXISTING SOIL PROFILE IS OF A CLAY STRUCTURE, CULTIVATE & ADD GYPSUM AT MANUFACTURER'S RECOMMENDED RATES. ENSURE SIDES OF HOLE ARE ROUGHENED. BACKFILL HOLE WITH NEW COMPOSTED ENRICHED WEED-FREE SOIL.

THE BASE OF ALL TREE PLANTINGS TO HAVE GEO-TEXTILE FABRIC SOCKED AGRICULTURAL DRAIN WITH SCREENINGS SURROUNDING, CONNECTED TO SILT PIT PRIOR TO STORMWATER SYSTEM.

STAKE TREES WITH 3 CHISEL-POINTED HARDWOOD STAKES 2.4M X 50 X 50MM, DRIVEN 800MM INTO GROUND TO OUTSIDE OF ROOT BALL. TIE TREES IMMEDIATELY AFTER PLANTING WITH JUTE WEBBING TIES.

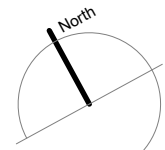
SOIL BERM FORMING A WATERING SAUCER AROUND IMMEDIATE CROWN OF PLANT TO HOLD AT LEAST 5-10% OF ROOTBALL SIZE OF WATER.

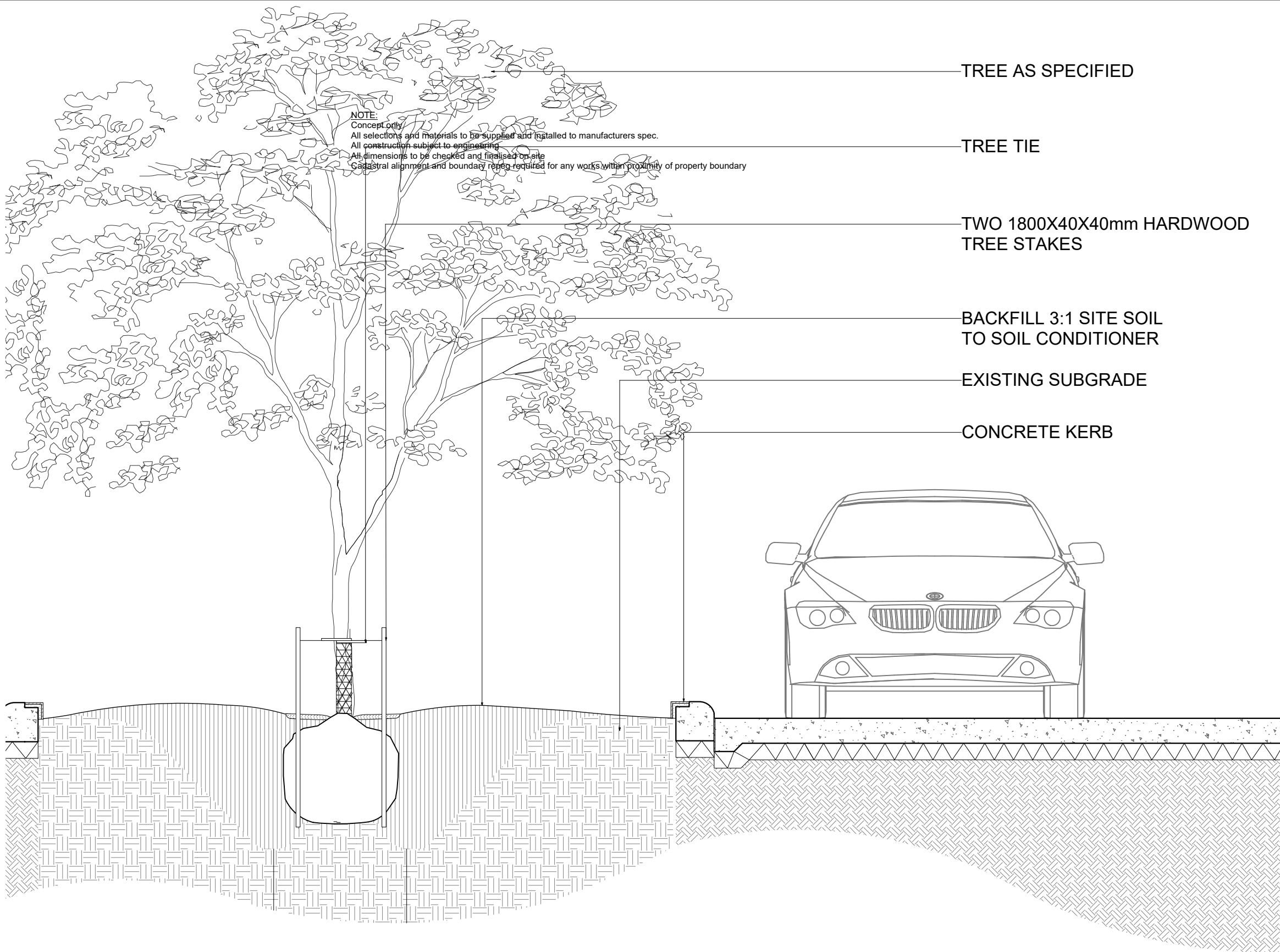
APPLY OSMOCOTE SLOW-RELEASE FERTILISER WATER-STORING CRYSTALS (AT MANUFACTURER'S RECOMMENDED RATES) INTO SOIL SURROUNDING TREE.



**NOTES**  
 GARDEN BED TO BE WELL DRAINED WITH DRAINAGE AS PER DRAWING. BEFORE PLANTING, THOROUGHLY WATER TREES TO BE TRANSPLANTED. AFTER PLANTING, WATER IS TO BE CONCENTRATED WITH DRIPPERS PLACED DIRECTLY ON TOP OF ROOTBALL. FOR A PERIOD OF 6 WEEKS AFTER PLANTING, IT IS ESSENTIAL THAT MOISTURE LEVELS OF ROOTBALL ARE REGULARLY CHECKED TO ENSURE ROOTBALL DOES NOT DRY OUT.

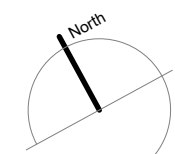
**1** **TYPICAL TREE DETAIL**  
 8.02 Scale: 1:20





**NOTES**  
 EXCAVATE A TRENCH WITHIN THE SOIL PROFILE DOWN TO THE CLAY LAYER (DIRECTLY BENEATH THE GARDEN BED OR LAWN AREA THAT REQUIRES DRAINAGE).  
 SLOPE THE CLAY LAYER TOWARDS THE DIRECTION OF THE DRAINAGE PIPES.  
 LAY 90MM DIAMETER RIGID SLOTTED PIPE, ALLOW 3000MM BETWEEN PIPES. REFER TO DETAIL FOR LAYOUT IN LARGE AREAS.  
 COVER WITH A MINIMUM 300MM DEPTH OF 1/2" BLUEMETAL SCREENINGS.  
 DEPTH OF DRAINAGE PIPE TO VARY ACCORDING TO TREES AND PLANTS WITHIN GARDEN BEDS. FOR ESTABLISHED TREES AND PLANTS, SEE ESTABLISHED TREE PLANTING DETAIL.

**1** TYP TREE ISLAND  
 8.03 Scale: 1:25



26<sup>th</sup> May 2025

Chief Executive Officer  
City of Canning

**Attention: Planning Services**

Dear Sir/Madam

**Development Application  
18 Division Street, Welshpool  
Change of Use and Works – Warehouse Storage Building and Incidental Large Format Digital Signage**

Pinnacle Planning acts on behalf of the owners of 18 Division Street, Welshpool (subject site).

To assist with progressing the Application, please find the following Application particulars attached:

- Completed and signed Application Forms;
- A copy of the plans and elevations of the proposal, including signage;
- A copy of the Landscaping plans;
- A copy of the Traffic Engineering Assessment Report;
- A copy of the Waste Management Plan; and
- A copy of the certificate of title.

**SITE DESCRIPTION**

The subject site comprises of Lot No. 786 of Deposited Plan 30211, commonly known as 18 Division Street, Welshpool. The site has a land area of 1514m<sup>2</sup>, with no current permanent structure, and has no current land use.

**PROPOSAL**

The proposal, the subject of this application, is for the construction of a light-industrial storage building for the site's proposed use of warehouse/storage, with ancillary office space. Incidental to this, at the rear of the site is to be a large-format digital sign facing the adjacent Leach Highway. The signage is proposed to be single faced, oriented for viewing from the northbound lanes of Leach Highway, as a result of pre-lodgement engagement with the City of Canning.

The subject site is of a suitable location for the proposed development, owing to its industrial character and scale, and conformity with local planning policy. The site is currently vacant, with the proposed warehouse development enabling the location of new businesses within the precinct.

The proposal establishes a new standard for industrial development in terms of landscaping and streetscape interface. Provision has been given for a significant volume of verge and onsite landscaping, the spatial distribution of which has been established to accord with the manoeuvrability and accessibility requirements of heavy rigid vehicles. Resultingly, in accordance with landscaping plans, the proposal facilitates a significant enhancement in the provision of trees and landscaping for industrial and warehouse development.

## **CURRENT PLANNING CONSIDERATIONS**

### **Metropolitan Region Scheme**

Under the provisions of the Metropolitan Region Scheme, the site is zoned as “Industrial.”

Warehouse/storage land use and digital billboard signage are contemplated components of industrial areas and are consistent with land use and development typical of the Industrial zone.

### **City of Canning Local Planning Scheme No. 42**

Under the provisions of the City of Canning’s Local Planning Scheme No. 42 (LPS42), the site is zoned as “General Industry.” The objectives of the General Industry zone are as follows:

- a) To provide for a broad range of industrial, service and storage activities which, by the nature of their operations, should be isolated from residential and other sensitive land uses;
- b) To accommodate industry that would not otherwise comply with the performance standards of light industry;
- c) To seek to manage impacts such as noise, dust and odour within the zone.

The proposed warehouse/storage building and digital signage is entirely consistent with the activities typical of an industrial area. Based off the proposed land use, it is not expected for there to be any noise, dust, or odour impacts to the surrounding locality.

There are no additional or restricted use classifications applied to the site.

Under the provisions of LPS42, Warehouse/Storage land use is classified as “P” for the General Industry zone, meaning Warehouse/Storage use is permitted within the General Industry zone, if it meets the development standards and requirements of the scheme. The proposed net lettable area of warehouse storage space on the subject site is 276.39m<sup>2</sup>, equivalent to approximately 72% of the proposed building structure area, and is useable in conjunction with the sizeable provision of exterior hardstand areas.

Additionally, office land use is classed as “I” within the General Industry zone, meaning the land use is permitted where it is consequent on, or natural attaching, appertaining, or relating to the predominant use of the land. The area dedicated to office space is 71.12m<sup>2</sup>, equivalent to less than one-fifth of the total building area. This provision is consistent with the volume of office space which would naturally appertain an industrial development of this scale. As such, we confirm that the proposed office space provision is consequent on the predominant warehouse/storage use of the subject site, meaning the use is permitted under the provisions of LPS42.

Therefore, the proposed use of the site is in accordance with objectives and uses contemplated for the General Industry zone, and is permitted under the provisions of LPS42.

Part 4 of LPS42 also provides for development standards surrounding development, parking, and landscaping within the General Industry zone. The development standards applicable to the subject site, along with a statement of compliance for each component, can be found in the table below.

### City of Canning Local Planning Policy LP.05 – Advertising Signs

The City of Canning’s Local Planning Policy LP.05 – Advertising Signs provides direction on the specifications and design requirements for advertising signage within the City of Canning. The objectives of LP.05 are as follows:

- a) Ensure advertising signs only relate to services and products available on the site;
- b) Ensure the content of advertising signs is controlled and is not discriminatory or offensive;
- c) Ensure advertising signs are appropriately scaled for their setting and are within appropriately located areas, complementary to the objectives of the zone and built form;
- d) Ensure advertising signs do not adversely impact the amenity of the surrounding areas;
- e) Encourage the incorporation of advertising signs into the design consideration of buildings and avoid obscuring or detracting from prominent architectural features;
- f) Avoid the proliferation of advertising signs on individual sites and buildings;
- g) Ensure advertising signs are not misleading or dangerous to vehicular or pedestrian traffic;
- h) Ensure Third Party signage is appropriately located within the Industry Zone and is complementary to the objectives of the zone and surrounding built form.

LP.05 also provides a series of design requirements for signage proposed as a component of development, across all zones within the City of Canning. The relevant design standards applicable to the proposed signage, alongside a statement of compliance for each component, can be found in the table below.

### Development Standards

The relevant development standards applicable to development in the General Industry Zone and signage are outlined below.

Development Standard	Planning Framework	Acceptable Development Standard	Proposal Response	Compliance
Primary street setback	LPS42	Minimum 15m	Most of structure set back at minimum 15 metres, minor intrusion from small portion of building, with at least 12 metres setback.	Not compliant – see below.
Side and rear setback	LPS42	Minimum 0m		Compliant
Service Access	LPS42	Non-residential development will provide for service access to the side or rear, where available,	Swept-path analysis as part of the traffic engineering assessment confirmed the suitability of the design for side building	Compliant

		and allow forward-gear entry and exit.	access and manoeuvrability.	
Vehicle Parking	LPS42	Minimum 1 parking space per 100m <sup>2</sup> NLA for warehouse/storage  Minimum 1 space per 30m <sup>2</sup> NLA for office	5 spaces provided 2.76 spaces required for warehouse/storage 2.37 spaces required for office.	Compliant
Bicycle Parking	LPS42	Minimum 0.2 spaces per 100m <sup>2</sup> NLA for warehouse/storage  Minimum 0.4 spaces per 100m <sup>2</sup> NLA for office	2 bicycle racks providing 4 bicycle parking spaces. 0.55 spaces required for warehouse/storage 0.28 spaces required for office	Compliant
Landscaping	LPS42	Minimum 2m width landscaping strip to be provided along any boundary to public streets, except for crossovers.	Landscaping of at least 2 metres provided along street frontage, except for at crossover locations.	Compliant
Onsite tree provision	LP.02	Minimum of 1 tree per 500m <sup>2</sup> land area, rounded up PLUS Minimum of 1 tree per four parking spaces.	Eight trees provided within the subject site, three of which are provided for uncovered parking areas.	Compliant
Landscaping percentage	n/a	No minimum landscaping percentage		n/a
Building height	n/a	No maximum building height		n/a
Site coverage	n/a	No maximum site coverage		n/a
Permitted zoning of billboard and digital signage	LP.05	Third party signage is only permitted within the Light Industry or General Industry zones, and within or adjacent to Primary Regional Road, Other Regional Road, District Distributor Road, or Railway reserves.	The digital third-party billboard signage is proposed to be built within a General Industry zone and is therefore permissible with City approval.	Compliant
Safety	LP.05	Advertisements shall be located such that traffic and pedestrian safety are not compromised.	The signage has undergone a traffic safety assessment, which found no potential adverse impacts on vehicle or pedestrian safety.	Compliant
Main Roads WA Guidelines	LP.05	Signage along, abutting, or facing Primary	The traffic safety assessment conducted	Compliant

		Regional, Other Regional, and District Distributor Road reserves are to be designed with regard to the requirements of applicable Main Roads WA guidelines and/or development control policies by the WAPC.	by Shawmac also assessed the proposed signage's compliance with Main Roads WA guidelines, and found the signage to be compliant.	
Number of signage	LP.05	One billboard sign is permitted per lot.	One sign structure is proposed for the site	Compliant
Sign façades	LP.05	Signage may be present on one façade of the signage structure.	Signage is proposed to be displayed on one façade of the structure, for viewing from the northbound lanes of Leach Hwy.	Compliant
Signage size	LP.05	Signage should not exceed 42.4m <sup>2</sup> in area.	The proposed signage has a façade area of 48m <sup>2</sup> .	Not compliant – see below
Sign height	LP.05	Signage should not exceed 12.5m in height.	Signage structure is 17.0m in height.	Not compliant – see below.
Maximum luminance levels	LP.05	Daytime – 6000 cd/m <sup>2</sup> Dawn/dusk – 600 cd/m <sup>2</sup> Night – 300 cd/m <sup>2</sup>	Proposal to meet Main Roads Requirements	Compliant
Residential Amenity	LP.05	No impact upon existing residential amenity.	No residential areas in surrounding locality.	Compliant
Visibility from residential development	LP.05	Signage should not be visible from any existing or proposed residential development, public open space, or sensitive land uses.	No residential areas in surrounding locality.	Compliant
Proximity to existing third-party signage.	LP.05	Signage is not in view of, or in proximity to, other existing third-party signage.	The nearest large-format third-party signage is located on the opposite side of the intersection of Leach Highway and Welshpool Road, approximately 200m away. There would be no visual impact to existing third party signage due to its height in comparison to Leach Highway, and orientation towards	Compliant

			the opposite traffic direction.	
Predominant land use	LP.05	Signage should not be the only land use of the site and should not prejudice the intended use of the land as identified in LPS42.	While there is currently no building onsite, the proposed signage is to be built incidental to a warehouse/storage building, with the warehouse being the predominant land use as measured by both physical footprint and visitation intensity.	Compliant

## JUSTIFICATION OF NON-COMPLIANCE WITH PLANNING FRAMEWORK

### Primary Street Setback

Clause 4.17.2 and Table 5 of LPS42 (a) provides for a minimum primary street setback of 15 metres for buildings within the General Industry zone. As indicated on the attached plans, the proposed warehouse structure provides for a minor intrusion into the primary street setback area, with a small portion of the building structure projecting up to 3 metres into the primary street setback area. As this applies to only a small portion of the total building area, and provides a primary street setback of at least 12 metres to all points of the proposed building structure, we consider this to be a minor variation.

Nonetheless, Clause 4.17.2 (b) provides the following:

*The street setback requirements in Table 5 may be reduced by the local government subject to the following provisions –*

- (i) The reduced setback will not have any adverse impacts on the adjoining properties or the street appearance;*
- (ii) The proposed development will constitute a general improvement to the appearance of the street; and*
- (iii) The portion of the building encroaching into the street setback forms an integral part of the development.*

The extraordinarily unusual dimensions of the subject site provide significant limitations as to the potential for the construction of useable industrial space. The present design balances the provision of adequate setbacks to the primary street, with the accessibility and useability of built structures. As indicated on the provided drawings, this minor setback encroachment enables the provision of additional roller-door openings, to improve the functionality of the warehouse building and facilitate the access of the warehouse storage areas by vehicles, where necessary.

As indicated on the provided landscape plans, the setback area includes a landscaped strip of a minimum width of 2 metres, with provision for eleven small trees and a large variety of shrubbery and ground-cover flora species. This landscaping, along with the provided setbacks of the remaining portions of the building, work to eliminate the potential for adverse impacts on adjoining properties, with the provided landscaping actively improving the appearance of the surrounding street scape.

## **Sign height**

Clause 4.4 (f) of LP.05 specifies that third party signage should not exceed 12.5m in height. The proposed signage exceeds this threshold, with a height of 17.0m when measured from ground level.

We note, however, that the location of the signage has a ground level significantly lower than that of Leach Highway, which abuts the western boundary of the site. To have the proposed signage at a height of just 12.5m above ground level would result in the proposed signage not being adequately visible from the Leach Highway carriageway without posing a significant safety risk.

When considering the elevation of Leach Highway, the relevant height of the signage is just 6.75 metres above the crash barriers of the Leach Highway carriageway, less than the maximum specifications of LP.05. Therefore, we argue that the height of the proposed signage is necessary to meet the safety requirements for digital signage specified by Main Roads Western Australia. We therefore argue that the proposed signage height meets the objectives of LP.05.

## **Signage Size**

Clause 4.4 (e) of LP.05 permits third-party signage to be of a maximum size of 42.4m<sup>2</sup>. The proposed signage exceeds this size, providing a maximum sign face area of 48m<sup>2</sup>.

Notwithstanding, we argue that this size difference represents a minor departure from the provisions of LP.05. We refer to the objectives of LP.05, with objective 3 reading:

*3. Ensure advertising signs are appropriately scaled for their setting and are within appropriately located areas, complementary to the objectives of the zone and built form.*

As noted above, the locality of the surrounding site can be characterised by large-scale industrial and warehouse land uses, and wide, high-speed motorway-style roads. The proposed signage is located within suitably zoned land, and the proposed size variation would not result in any increase in external impacts. Additionally, as indicated on the attached drawings and renders, the signage is of a scale consistent with the built form and character of the surrounding locality. As such, we argue that the departure from the provisions of Local Planning

## **TRAFFIC SAFETY CONSIDERATIONS**

Pinnacle Planning has engaged the services of Shawmac to conduct a traffic engineering assessment. The scope of this assessment was to assess and provide guidance on the conformity of the proposed development against the prevailing regulatory framework, including Main Roads Western Australia's guidelines for digital signage, crash risk categorisation, and the dimensions and layout of onsite vehicle parking and manoeuvring areas.

The assessment showed consideration for potential conflicts surrounding traffic management devices and existing signage provision, concluding that there is no substantiative potential for these conflicts to occur. Additionally, the assessment concluded the signage is of a dimension, orientation, and location which would not provide any negative impacts on vehicle safety or crash risk for surrounding roads, and is broadly compliant with Main Roads guidelines for digital signage.

The report on the assessment's findings has been included in this application, which also provides confirmation for the manoeuvrability and accessibility of the site for heavy rigid vehicles, and provides assurance as to the suitability of the vehicle and bicycle parking provided.

## **LANDSCAPE CONSIDERATIONS**

9/473 Beach Road, Duncraig, Western Australia 6023  
0430 388 942 | ben.carter@pinnacleplanning.com.au  
pinnacleplanning.com.au

Pinnacle Planning has engaged the services of Yoxall Landscape Architecture for the formation of a landscaping plan. The resulting landscape plan has been included in this application.

As reflected in these plans, the proposed development provides for a significant improvement to the provision of landscaping on the subject site, with a highly landscaped front setback and verge area, and proposed tree planting which exceeds the minimum requirements of Local Planning Policy LP.02 – Tree Retention, Planting and Development. In lieu of the six trees required for the subject site's area and uncovered parking provision, the proposal provides for eight trees onsite, with an additional six trees proposed to be planted within the verge area. We therefore assert that the landscaping and tree provision proposed as part of this development will provide significant enhancement to the appearance of the streetscape, and improve the visual amenity of the surrounding area, establishing a new standard for the quality of landscaping and streetscape character for future industrial development in the surrounding area.

## **WASTE MANAGEMENT CONSIDERATIONS**

Pinnacle Planning was engaged for the preparation of a waste management plan for the proposed development. The waste management plan proposes the use of 240L bins, to be collected via a private waste contractor, once per week.

The attached plans indicate that adequate provision exists for the storage of the six (6) proposed bins in locations concealed from public view, with 240L bins capable of being manually transferred to collection vehicles. While the provision of six (6) bins is calculated as being sufficient for the projected waste generation of the site, in line accordance with WALGA best practice guidelines, the use of private waste collection contracts enables the frequency of collection to increase, should waste demand increase in the future.

The proposed waste management plan has been included as part of this application, for your reference.

## **VISUAL IMPACT STATEMENT**

### **Current Visual Amenity**

#### Land Use

The land use of the site's surrounding locality is of an industrial nature, with General Industry zoning being the predominant land use. The subject site is currently a vacant hardstand storage area, without a permanent structure.

As is consistent with industrial areas, there is no residential land use in the surrounding locality.

#### Built form and scale

Buildings in the surrounding area are of an industrial nature, with industrial warehouses and hardstand storage yards being very commonplace. Buildings are constructed predominantly of concrete, rendered brick, and sheet metal, and of sizes varying from single storey buildings to large multi-storey factories. We note that there are no provisions within the City of Canning's Local Planning Scheme No. 42 or Local Planning Policies specifying building heights within the industrial zone.

#### Road Network

The site's primary frontage is to Division Road, a low-traffic cul-de-sac which exists primarily for access to neighbouring sites.

The western boundary of the site abuts Leach Highway, reserved as a Primary Regional Road under the Metropolitan Region Scheme. The section of Leach Highway adjacent to the site is a four-lane motorway-style high-speed carriageway, with wide sealed hard shoulders, large-format lighting and directional signage, and a speed limit of 80km/h. Leach Highway's intersection with Welshpool Road, adjacent to the site, is free-flowing and grade separated, highlighting the high-speed nature of the surrounding road network.

### Signage

Large format signage, consistent with an industrial zone, is visible throughout the surrounding locality. The signage is designed primarily for legibility when read from traffic moving at high speeds and from a distance. Examples of this surrounding the site include wall signage covering the entirety of a neighbouring self-storage warehouse's façade, illuminated static wall signage on the fascia of nearby nearby factories and warehouses, and large-format static third-party signage on top of a building on the opposite side of Leach Highway, facing southbound traffic. See Figure 1 and Figure 2 below for reference.



Figure 1. Subject site (left) and large format signage on adjacent site



Figure 2. Large-format first-party and third-party signage on opposite site of Leach Hwy/Welshpool Rd intersection.

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## **Proposed Development**

### Warehouse Storage Building

The proposed warehouse storage building is of a high-quality design, with an architecturally designed building which incorporates articulations of the façade through eaves and overhanging awnings. The building's appearance and character is enhanced significantly through the inclusion of landscaping along the site's frontage. The building's design and scale are in keeping with warehouse/storage buildings in the surrounding locality.

### Signage

The signage proposed is appropriate for an industrial area, and of a scale and nature consistent with the surrounding locality. The signage is of a height that maximises legibility for traffic on Leach Highway, while balancing consideration for topographical variations. As previously mentioned, while we understand the proposed signage is not of a desired height according to the provisions of LP.05, it is necessary for the proposed signage to meet Main Roads Western Australia's digital signage requirements. Due to its location, the signage would not have any visual impact to any land zoned for residential use.

## **Resultant Amenity**

The proposed building would provide an overall increase to the visual amenity of the site, with an improved built form and landscaping. While there is no maximum height or plot ratio specified within LPS42, the design and size of the building is of a scale consistent with the surrounding area.

The signage proposed is appropriate for an industrial area, and of a scale and nature consistent with the surrounding locality. The signage is of a height that maximises legibility for traffic on Leach Highway, without providing any adverse visual impact to the surrounding locality.

## **CONCLUSION**

In considering the above and attached, the following conclusions are evident:

- The proposed land use for the site is Warehouse/Storage, which is a permitted land use under the provisions of the City of Canning's Local Planning Scheme No. 42;
- The proposal includes provision for ancillary office space and large-format digital signage, which operate consequently, and without inhibition to the predominant warehouse/storage land use;
- All proposed structures are broadly compliant with the provisions and objectives of the applicable local planning framework;
- The proposal provides for a highly landscaped verge and street frontage area, enhancing the quality and character of the streetscape and surrounding area; and
- The proposed signage is compliant with Main Roads guidelines, and satisfies all objectives of Local Planning Policy LP.05 – Advertising Signs.

Based on the above, and submitted information, we seek the City of Canning exercise its discretion in approving the proposed development under delegated authority.

Should you require any further information or clarification in relation to this matter, please do not hesitate to contact the undersigned.

Yours faithfully  
**PINNACLE PLANNING**



**BEN CARTER**

Encl.

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ABN 37 159 462 218

Schedule of Submissions

Submission	Objection/No Objection	Matter
1	-	General comments on Water and Sewer supply to the land.
2	No objection	None.
3	No objection	Should comply with Council height and size under LP05.
4	No objection	None.
5	Objection	Too much visual pollution.
6	Objection	Loss of visual amenity and building bulk
		Driver safety
		Non-compliance with LP05
		Incompatibility of the land use

Our Reference: 2025-016

13 August 2025

Pinnacle Planning  
9/473 Beach Road  
Duncraig WA 6023

Attention: Mr Ben Carter

Dear Ben

**RE: Proposed Development – 18 Division Street, Welshpool WA 6106 – Stormwater Drainage & Wastewater & Effluent Disposal Calculations**

This letter is to confirm the stormwater drainage and wastewater & effluent disposal design criteria for the aforementioned site.

**Stormwater Drainage**

1. The total site area is ~1,530 square metres.
2. The building finished floor level is RL12.800 AHD.
3. The general external site levels range from ~RL12.70 AHD to ~RL12.450 AHD.
4. There is a positive land overflow path which grades away from the building to prevent any stormwater ingress.
5. The maximum groundwater level on the site is ~RL11.490 AHD, which is approximately 1.00m below the site level (based on the Perth Groundwater Map).
6. It is proposed to retain and dispose of stormwater on site via the use of soak wells.
7. The inferred permeability rate for the insitu site soils is ~5.00m per day for calculation purposes (free draining sand).
8. The maximum soak well depth will be limited to 900mm.
9. The storage capacity of an 1800Ø x 900mm deep soak well is ~2.28m<sup>3</sup>.
10. It is proposed to retain a 1% AEP, 5 minute duration storm event on the site, within the interconnected soak well network.
11. ~1,530 square metres x 171.00mm/hr (BoM IFD) x 0.00028 x 60 secs x 5 mins / 1000 = 21.976m<sup>3</sup> of storage capacity is required for the site.
12. 10.00 x 1800Ø x 900mm deep interconnected soak wells are to be provided.
13. The total storage capacity provided is 22.80m<sup>3</sup> as indicated on architectural site plan A.07.

**Wastewater and Effluent Disposal**

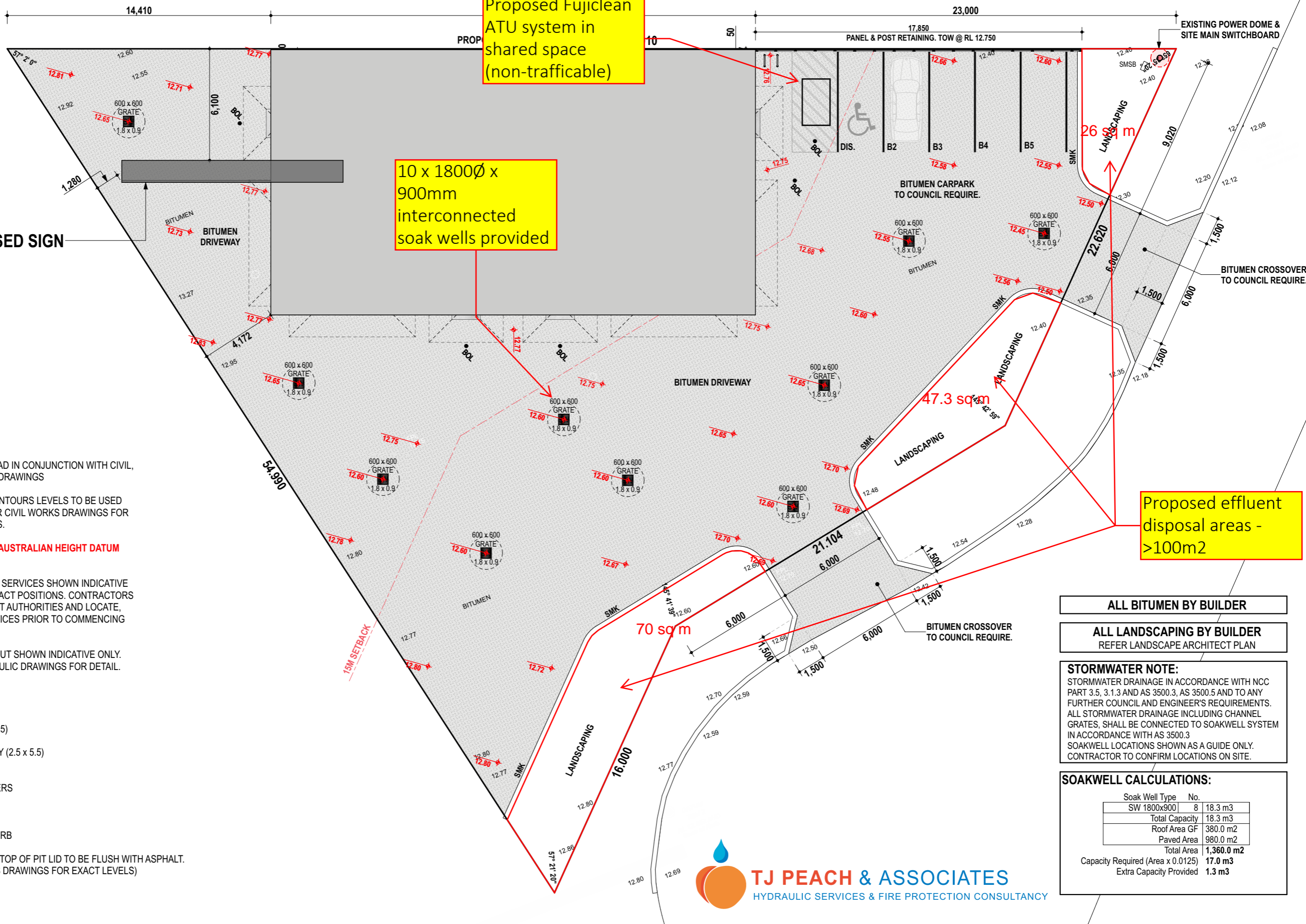
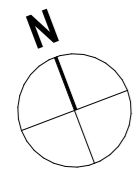
1. There will be eight (8) non-showering office / warehouse staff on site. 8 x 30 litres = 240 litres.
2. There will be two (2) showering office / warehouse staff on site. 2 x 70 litres = 140 litres.
3. There will be a maximum of five (5) visitors to the site per day. 5 x 10 litres = 50 litres.
4. The total daily wastewater loading to the site is 430 litres per day.
5. A Fujiclean ACE1200 (1200 litres per day) aerobic treatment unit will be installed to treat the wastewater from the building.
6. A minimum effluent disposal area (sub strata dripper irrigation) of 100 square metres is proposed for the site.
7. Locations are as indicated on architectural site plan A.07.

Should you have any queries or require further clarification on the above items, please do not hesitate to contact the undersigned.

Kind Regards

Tim Peach *AHSCA MIPA PL7759 GF012782 BF1712*  
Director  
[tim@tjpeach.com.au](mailto:tim@tjpeach.com.au)  
+ 61 405 141 945

Cc/- Gwyth Jones – Daniel Gwyther Jones



Proposed Fujiclean ATU system in shared space (non-trafficable)

10 x 1800Ø x 900mm interconnected soak wells provided

Proposed effluent disposal areas - >100m<sup>2</sup>

**GENERAL NOTES:**

1. THIS DRAWINGS SHALL BE READ IN CONJUNCTION WITH CIVIL, HYDRAULIC AND ELECTRICAL DRAWINGS
3. AS EXISTING SITE SURVEY CONTOURS LEVELS TO BE USED FOR REFERENCE ONLY. REFER CIVIL WORKS DRAWINGS FOR PROPOSED LEVELS AND FALLS.
4. VERTICAL HEIGHT DATUM TO AUSTRALIAN HEIGHT DATUM (AHD)
5. ALL EXISTING UNDERGROUND SERVICES SHOWN INDICATIVE ONLY. CHECK ON SITE FOR EXACT POSITIONS. CONTRACTORS SHALL CONTACT ALL RELEVANT AUTHORITIES AND LOCATE, EXPOSE & PROTECT ALL SERVICES PRIOR TO COMMENCING WORK.
6. STORMWATER DESIGN & LAYOUT SHOWN INDICATIVE ONLY. REFER CIVIL WORKS & HYDRAULIC DRAWINGS FOR DETAIL.

**LEGEND**

- B PARKING BAY (2.5 x 5.5)
- DIS. VISITOR PARKING BAY (2.5 x 5.5)
- SPOT HEIGHT MARKERS
- BOLLARD
- SEMI MOUNTABLE KERB
- GRATED SOAKWELL. TOP OF PIT LID TO BE FLUSH WITH ASPHALT. (REFER CIVIL WORKS DRAWINGS FOR EXACT LEVELS)

**ALL BITUMEN BY BUILDER**

**ALL LANDSCAPING BY BUILDER**  
REFER LANDSCAPE ARCHITECT PLAN

**STORMWATER NOTE:**  
STORMWATER DRAINAGE IN ACCORDANCE WITH NCC PART 3.5, 3.1.3 AND AS 3500.3, AS 3500.5 AND TO ANY FURTHER COUNCIL AND ENGINEER'S REQUIREMENTS. ALL STORMWATER DRAINAGE INCLUDING CHANNEL GRATES, SHALL BE CONNECTED TO SOAKWELL SYSTEM IN ACCORDANCE WITH AS 3500.3  
SOAKWELL LOCATIONS SHOWN AS A GUIDE ONLY. CONTRACTOR TO CONFIRM LOCATIONS ON SITE.

**SOAKWELL CALCULATIONS:**

Soak Well Type	No.	Capacity
SW 1800x900	8	18.3 m <sup>3</sup>
<b>Total Capacity</b>		<b>18.3 m<sup>3</sup></b>
Roof Area GF		380.0 m <sup>2</sup>
Paved Area		980.0 m <sup>2</sup>
<b>Total Area</b>		<b>1,360.0 m<sup>2</sup></b>
Capacity Required (Area x 0.0125)		17.0 m <sup>3</sup>
Extra Capacity Provided		1.3 m <sup>3</sup>



PROPOSED  
**WAREHOUSE & BILLBOARD**

**18 DIVISION STREET, WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV	E	JOB No.	SHEET SIZE	SCALE	SHEET	DRAWING TITLE
		J25-020	ISO A3	1:200	A.07	SITE PLAN





## Area of Interest (AOI) Information

Aug 13 2025 15:01:08 Australian Western Standard Time

## Depths

#	Natural Surface (mAHD)	Base Aquifer (mAHD)	Depth to MAX Groundwater (mbgl)	Depth to MIN Groundwater (mbgl)	Aquifer Thickness MAX (m)
1	12.54	-13.86	1.06	1.61	25.35

#	Aquifer Thickness MIN (m)	Watertable MAX (mAHD)	Watertable MIN (mAHD)	Year Calculated	Area(m <sup>2</sup> )
1	24.80	11.49	10.94	2019	N/A

## Groundwater Salinity

#	TDS mg/L	Area(m <sup>2</sup> )
1	250-500	N/A

## Surface Geology

#	Geological description	Area(m <sup>2</sup> )
1	Bassendean Sand: quartz sand (dunes)	N/A

## Iron Staining Risk

#	Iron Staining Risk	Area(m <sup>2</sup> )
1	Low risk	N/A

## Garden Bore Suitability

#	Garden Bore Suitability	Area(m <sup>2</sup> )
1	Suitable	N/A

### Groundwater Salinity

<b>Fresh</b>	0 - 500 mg/L
<b>Marginal</b>	501 - 1000 mg/L
<b>Brackish</b>	1001 - 3000 mg/L
<b>Saline</b>	Over 3000 mg/L

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## Location

**Label:** Not provided

**Latitude:** -31.9899 [Nearest grid cell: 31.9875 (S)]

**Longitude:** 115.9658 [Nearest grid cell: 115.9625 (E)]

## IFD Design Rainfall Intensity (mm/h)

Issued: 13 August 2025

Rainfall intensity for Durations, Exceedance per Year (EY), and Annual Exceedance Probabilities (AEP).

[FAQ for New ARR probability terminology](#)

Duration	Annual Exceedance Probability (AEP)						
	63.2%	50%#	20%*	10%	5%	2%	1%
1 min	102	113	148	173	199	235	264
2 min	89.2	97.9	126	147	168	197	221
3 min	79.7	87.6	114	132	151	179	201
4 min	72.3	79.6	104	121	139	164	185
5 min	66.3	73.2	95.7	112	129	152	171
10 min	48.2	53.4	70.4	82.6	95.0	112	126
15 min	38.8	43.0	56.7	66.5	76.4	90.1	101
20 min	32.9	36.5	48.0	56.2	64.6	76.1	85.3
25 min	28.9	31.9	41.9	49.1	56.3	66.4	74.4
30 min	25.9	28.6	37.4	43.8	50.3	59.2	66.4
45 min	20.1	22.2	28.9	33.8	38.8	45.8	51.5
1 hour	16.8	18.5	24.0	28.0	32.2	38.1	43.0
1.5 hour	13.0	14.2	18.4	21.6	24.8	29.6	33.5
2 hour	10.8	11.8	15.3	17.9	20.7	24.8	28.2
3 hour	8.36	9.13	11.8	13.9	16.1	19.4	22.2
4.5 hour	6.46	7.05	9.12	10.8	12.5	15.2	17.6
6 hour	5.39	5.87	7.61	8.99	10.5	12.8	14.8
9 hour	4.16	4.54	5.89	6.98	8.18	10.0	11.6
12 hour	3.46	3.78	4.91	5.81	6.81	8.33	9.66
18 hour	2.66	2.90	3.78	4.46	5.20	6.33	7.31
24 hour	2.20	2.41	3.12	3.67	4.26	5.15	5.91
30 hour	1.89	2.07	2.69	3.15	3.63	4.36	4.97
36 hour	1.67	1.84	2.37	2.77	3.17	3.78	4.29
48 hour	1.38	1.51	1.95	2.25	2.56	3.01	3.38
72 hour	1.05	1.15	1.47	1.68	1.89	2.18	2.41
96 hour	0.871	0.956	1.21	1.38	1.53	1.75	1.92
120 hour	0.757	0.830	1.05	1.19	1.32	1.50	1.64

<b>144 hour</b>	0.678	0.744	0.939	1.07	1.18	1.35	1.48
<b>168 hour</b>	0.622	0.681	0.861	0.980	1.09	1.25	1.37

Note:

# The 50% AEP IFD **does not** correspond to the 2 year Average Recurrence Interval (ARI) IFD. Rather it corresponds to the 1.44 ARI.

\* The 20% AEP IFD **does not** correspond to the 5 year Average Recurrence Interval (ARI) IFD. Rather it corresponds to the 4.48 ARI.

This page was created at **15:08 on Wednesday 13 August 2025 (AWST)**

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# Traffic Review

Subject: Proposed Warehouse and Digital Sign – 18 Division Street, Welshpool  
Traffic Engineering Review

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Date: 23<sup>rd</sup> May 2025

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Author: P. Nguyen

Reviewer:

L. De Leon

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Client: Pinnacle Planning

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## 1. Introduction and Background

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### 1.1. Client and Scope

Pinnacle Planning have been engaged to prepare an application for a proposed warehouse development and digital sign to be located at 18 Division Street in Welshpool.

Shawmac has been engaged to prepare a traffic engineering assessment based on the criteria outlined in the *Main Roads WA Policy and Assessment Guidelines for Digital Advertising Signs*. The assessment will include the following information:

- Visibility distance
- Crash risk category
- Prohibition zones
- Amenity review
- Installation requirements and conditions
- Sign operating conditions
- Display content

This review will also include the proposed warehouse component and cover the critical aspects of the development such as vehicle access, parking provision and parking layout.

### 1.2. Site Location

The site address is 18 Division Street in Welshpool. The local authority is the City of Canning. The existing site is shown in **Figure 1**.

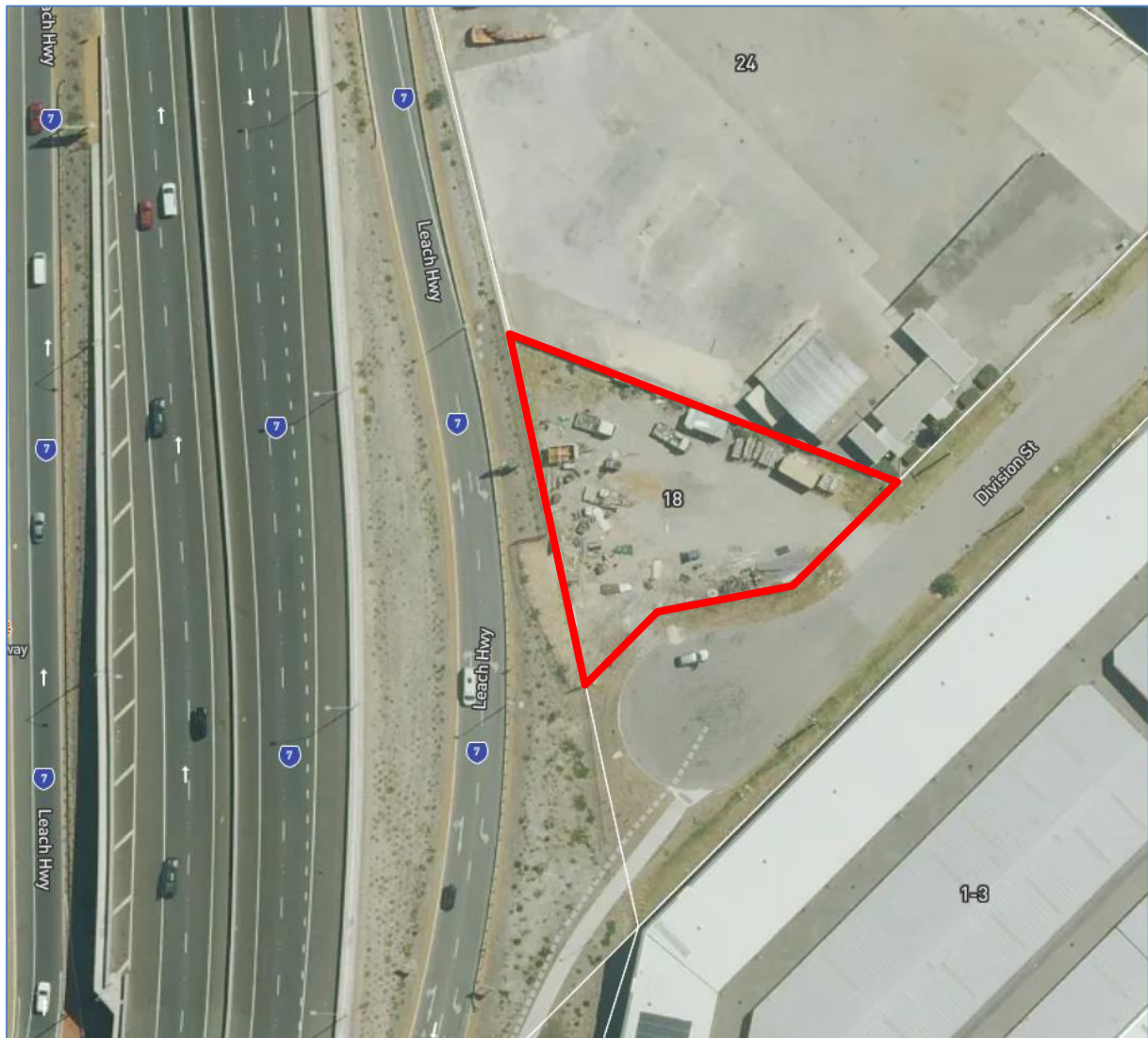


Figure 1: Existing Site (March 2025)

### 1.3. Proposed Development

The site is currently undeveloped and appears to be used for storage.

The proposed development is a warehouse building, car parking and a large format digital sign which will face towards the south. The site layout is shown in **Figure 2**, the sign elevations are shown in **Figure 3** and the set of plans are attached as **Appendix A**.

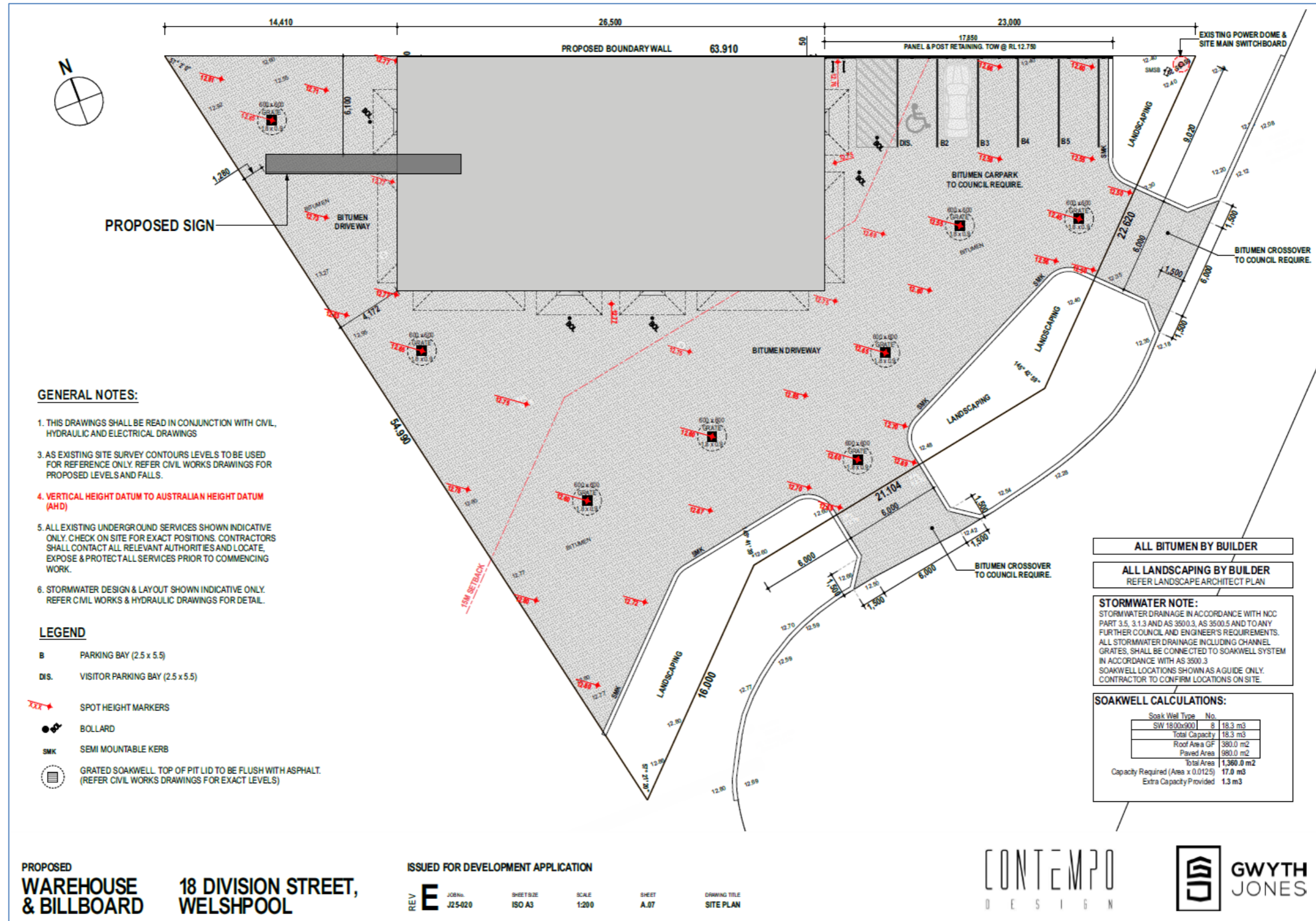


Figure 2: Site Plan

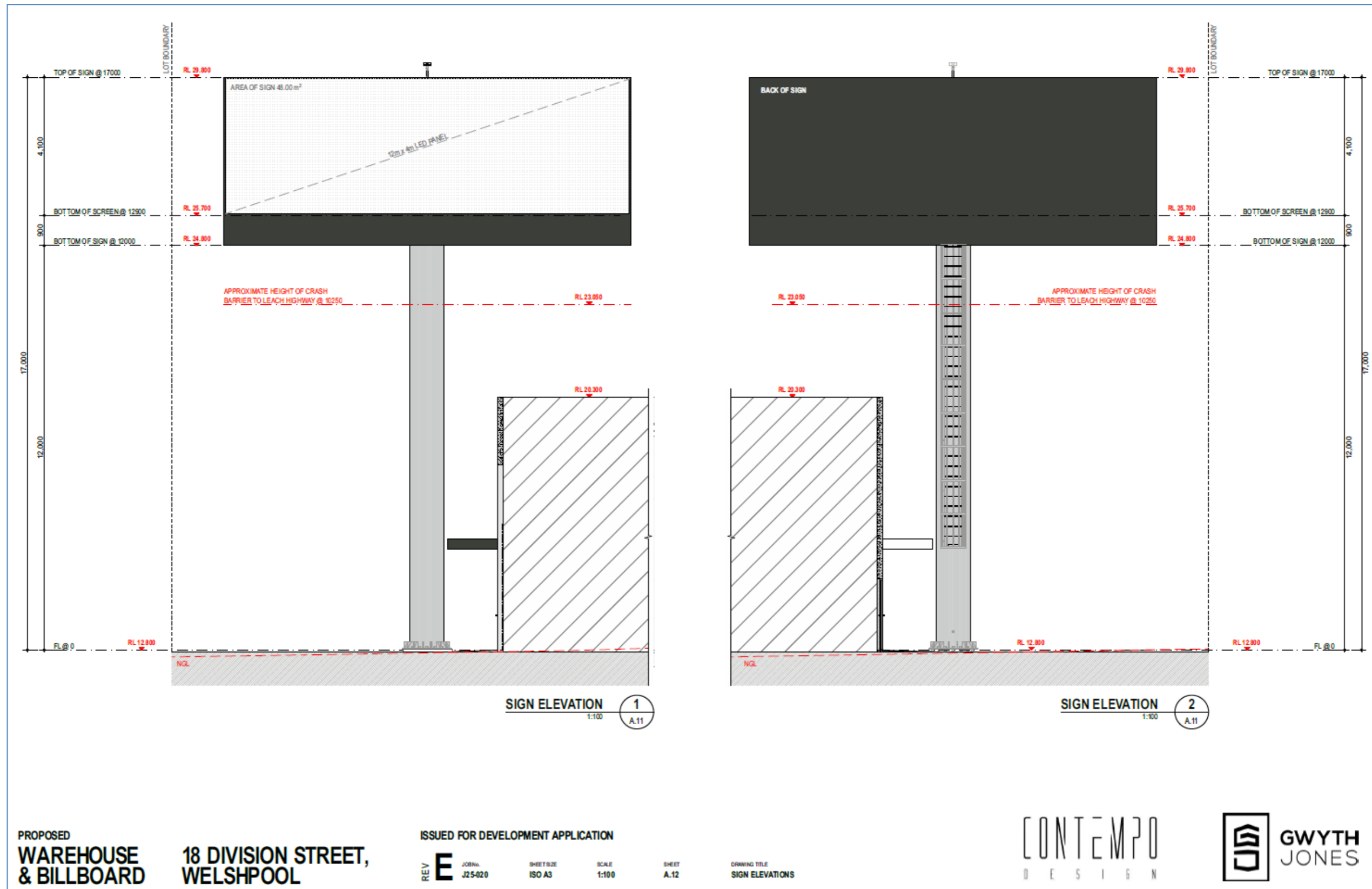


Figure 3: Sign Elevations

## 2. Assessment – Digital Sign

### 2.1. Location

#### 2.1.1. Visibility Distance

Visibility distance is the distance between the point where a driver has uninterrupted visibility of a sign and the location of the sign itself. The visibility distance is measured from the centre of the digital sign display area to the farthest point along the road (in the verge side lane) where at least 50% of the display area is visible.

The minimum required visibility distance is based on the speed limit as shown in **Figure 4**.

Speed limit (km/h)	Minimum visibility distance required (m)
50	83
60	100
70	117
80	133
90	150
100	167
110	183

**Figure 4: Minimum Required Visibility Distance**

Based on the 80km/h speed limit along Leach Highway, the minimum required visibility distance is 133m.

A site visit was undertaken in May 2025 to measure the visibility distance and the proposed sign will be fully visible at 133m from the northbound lanes of Leach Highway as shown in **Figure 5**.



**Figure 5: Visibility from 133m Along Leach Highway Northbound**

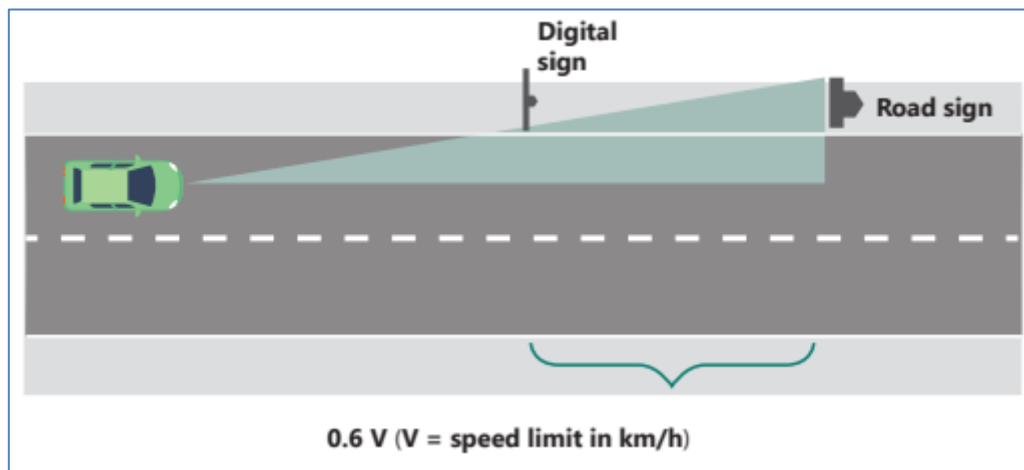
### 2.1.2. Crash Risk Category

From the pre-lodgement meeting with Main Roads WA, the crash risk category Level 1 has been assigned to the road segment.

### 2.1.3. Prohibition Zones

#### ***Obstruction of a Road Sign***

Digital signs must not obstruct a driver's view at a point where they may need to react (brake or change lanes). The minimum distance between the digital sign and a road sign should be  $0.6 V$ , where  $V$  = posted speed limit in km/h as shown in **Figure 6**.



**Figure 6: Obstruction of a Road Sign**

The minimum distance for an 80km/h speed limit is 48m. There are no road signs within 48m of the proposed digital sign.

**Interference with a Traffic Control Signal (TCS)**

A digital advertising sign must not be positioned where it may be too close (in front, besides, above, or behind) a TCS. The resulting offset adjacent, above and behind the TCS is called the TCS prohibition zone (TPZ) as shown in Figure 7.

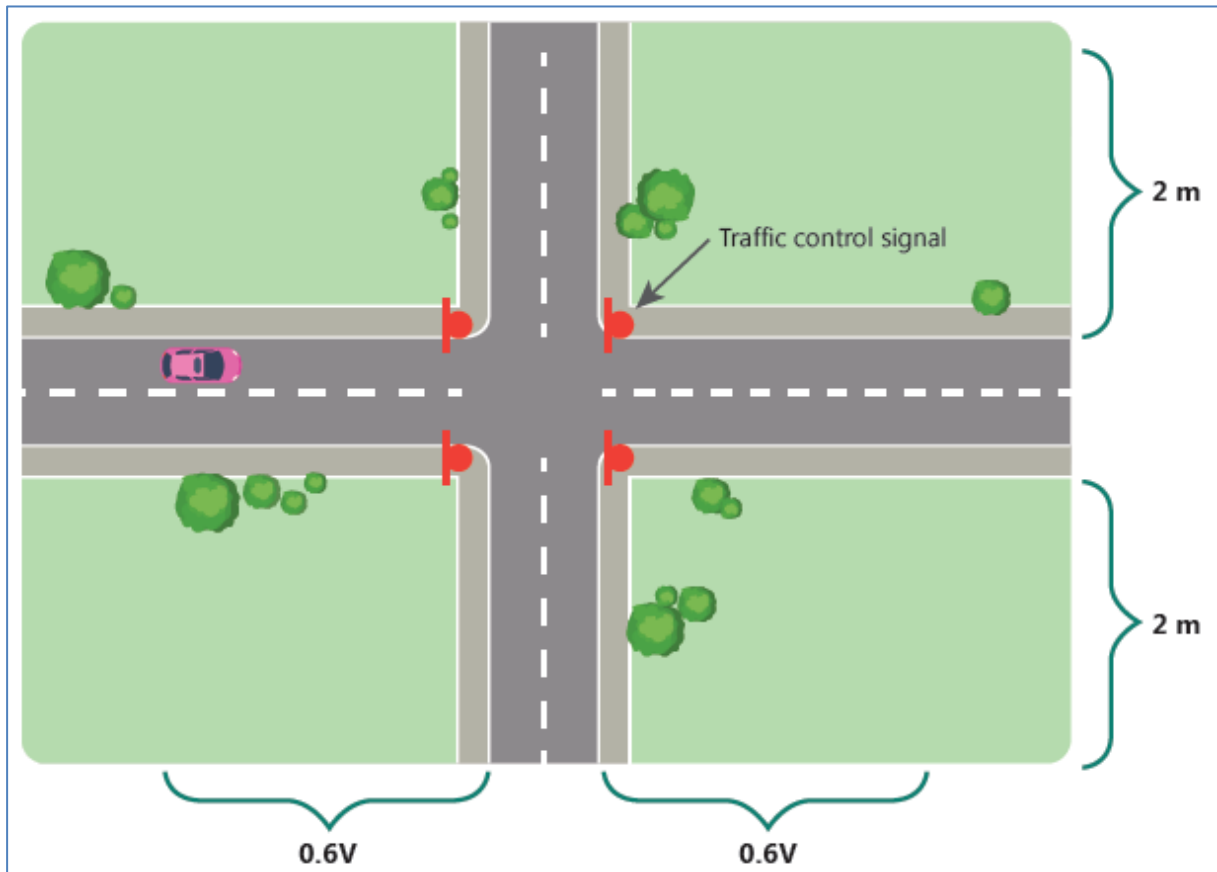


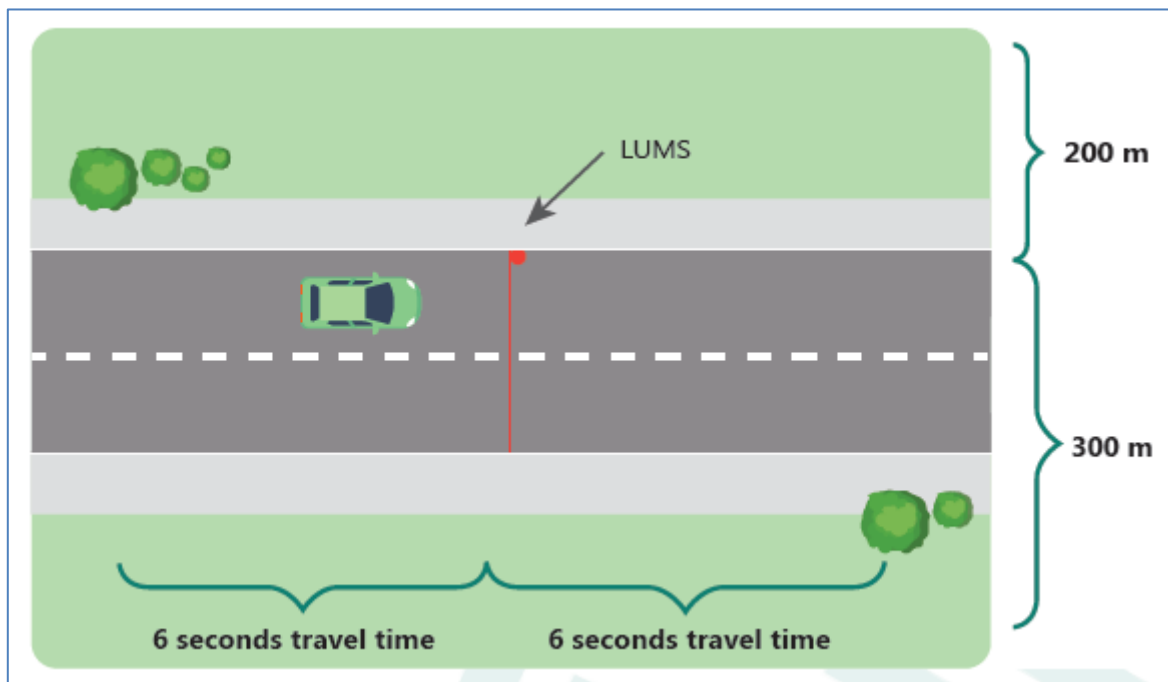
Figure 7: Traffic Control Signal Prohibition Zone

The proposed digital sign is not within any TCS prohibition zone.



**Lane Use Management Signs (LUMS)**

A digital sign must not be close to LUMS on a freeway, where a driver may need to make a critical decision such as reduce speed, change lanes, etc. A prohibition zone is provided to exclude digital signs from these sections of the road network as shown in **Figure 8**. The prohibition zone extends vertically, indefinitely.



**Figure 8: Lane Use Management Sign Prohibition Zone**

6 seconds of travel time at 80km/h is approximately 133m. There are no LUMS in the vicinity of the digital sign and so the sign is not within any LUMS prohibition zone.

**Critical Movement Prohibition Zones**

At merge and diverge locations, drivers are required to observe vehicles in adjacent lanes as well as on the forward roadway. Weaving movements are common, and additional distractions may increase the risk of a crash. A critical movement prohibition zone (CMPZ) is provided to exclude digital signs from these sections of the road network. Pre-lodgement advice from Main Roads WA is that the sign is not located in a CMPZ.





## 2.2. Amenity

Main Roads WA will not support advertising signs within the road reserve, or on land visible from state roads, where it is considered obtrusive and/or in opposition to the character of the area, e.g.:

- Landscapes and views valued by the community i.e., scenic, city, rural, water bodies and/or foreshores.
- Visually prominent landforms such as rock outcrops and elevated features such as ridges, hills, and escarpments.
- Cultural and heritage sites, features or designations including Aboriginal heritage sites.
- Roadside vantage points, road sections and structures such as designated tourist, scenic, flora or other tourism routes.
- Roadsides that feature urban design treatments, structures, public art, or landscaping.

The proposed digital sign is not within a road reserve and is not considered to be obtrusive or in opposition to the character of the area.

## 2.3. Sign Operating Conditions

### 2.3.1. Light Emitting Devices

The Road Traffic Administration Act 2008 (Section 140), which applies to all roadways in Western Australia, warrants that light emitting devices, in or visible from a road reserve, should not distract a driver, or cause a risk of danger. The owner and operator of the digital sign may be notified to rectify the device where it is the opinion of Main Roads WA that a digital sign is likely to:

- confuse a driver
- adversely affect traffic, or
- increase risk.

### 2.3.2. Changes in Display Content

#### ***Transition***

The transition between images or messages should change instantaneously. As a maximum, the transition must occur within 100 milliseconds. Transitions between messages or images must not include any effects such as fade, zoom or fly-in effects, and no blank screen between messages.

The brightness of a digital sign should be managed when content changes from primarily dark shades to light shades to ensure contrast is transitioned. This will ensure the sign does not appear to flash.

#### ***Flashing, strobing, pulsing***

No portion of the digital sign display should emit a flashing, pulsing, or strobing effect.

#### ***Animation***

Digital signs should not display moving images (or lighting) or change in a way that produces an impression of movement. Animation of any sort shall not be displayed on a digital sign that can be seen by a driver on a roadway or cycleway.

#### ***Dwell Time***

Dwell time is the period during which the content on the digital sign display area is constant. A driver should see no more than one transition of a digital sign display as they pass the sign. The minimum dwell time is calculated as per **Figure 9**.

$$\left[ \text{Dwell time} = \frac{V}{(S \times 0.28 \times PD_f)} \right]$$

Where:

**a) Visibility distance (V)** is a distance, in metres, as determined under Section 6.2 of this policy. The visibility distance will be 6 seconds of travel time for dwell time calculation purposes.

**b) Speed (S)** is the legal speed limit, in km/h, for the road segment adjacent to the sign.

**c) Proportion of drivers (PD)** is as per Table 5 (below).

Table 5: Proportion of drivers (PD)

Level 1		Level 2		Level 3	
Speed limit	PD	Speed limit	PD	Speed limit	PD
110	30%	110	20%	110	10%
100		100			
90	40%	90	30%	90	20%
80		80			
70	50%	70	40%	70	30%
60		60			

**d) Horizontal offset (O<sub>h</sub>)** is the horizontal offset in metres.

The horizontal offset is measured from the far edge of the digital display area to the left-hand kerb, or edge of the left-hand lane. The figures below indicate how to measure horizontal offsets for digital signs positioned left or right of the carriageway.



Figure 16: Horizontal offsets

**e) Factored proportion of drivers (PD<sub>f</sub>)** is the proportion of drivers observing a display transition factored down to account for increased risk relative to the sign being further from the road.

The further from the forward roadway a digital sign is positioned, the more likely a driver is to be distracted in their peripheral vision and turn their direction away from the road.

To account for this increased risk, the target proportion of drivers (PD) is factored down as a function of the horizontal offset (O<sub>h</sub>) and the visibility distance (V).

**Factored proportion of drivers (PD<sub>f</sub>)** is calculated as follows, where O<sub>h</sub> must be less than twice V.

$$\left[ PD_f = \frac{PD \times (V - \frac{1}{2} O_h)}{V} \right]$$

Figure 9: Calculation of Minimum Dwell Time

Based on a Horizontal offset ( $O_h$ ) of 57m, a Visibility Distance ( $V$ ) of 133m, Proportion of drivers ( $PD$ ) of 40% and Speed ( $S$ ) of 80km/h, the minimum dwell time is calculated to be 19 seconds.

### 2.3.3. Luminance and Illumination

Luminance levels should not exceed those of static signs under street lighting within the road environment. This may require digital signs to be turned off at night in areas with no street lighting. Due to the rapid rate of change in ambient light during dusk and dawn, digital sign luminance levels output during these periods must be actively managed. Any change in luminance shall be applied during the transition between display content.

AS-NZS 4282 *Control of the Obtrusive Effects of Outdoor Lighting* provides guidance on the luminance that may be acceptable from a lit surface such as a digital sign, as well as the threshold increment used to assess glare impacts on drivers. The recommended maximum luminance levels are summarised in **Figure 10**.

Environmental zone*	Description	Day cd/m <sup>2</sup>	Night cd/m <sup>2</sup>
A4	Town and city centres and other commercial areas with generally high off-street ambient lighting e.g., major shopping/commercial centres	500	350
A3	Suburban areas in towns and cities with generally medium off-street ambient lighting e.g., shopping/café strips	400	250
A2	Sparsely inhabited rural and semi-rural areas with occasional off-street ambient lighting	400	150
A1	Relatively uninhabited rural areas with no off-road lighting	300	zero
A0	Intrinsically dark	zero	zero

\* Environmental zone as defined in AS-NZS 4282 Table 3.1

**Figure 10: Maximum Allowable Luminance Levels (AS-NZS 4282)**

## **2.4. Displayed Content**

### **2.4.1. Replication of a Road Sign**

The digital sign must not display images of road signs or traffic control signals.

### **2.4.2. Sequential Content**

Generally, digital signs must not show messages that are conveyed through a sequence of displayed content. However, community information messages may display sequential text to a maximum of three (3) panels displayed at three (3) second intervals.

### **2.4.3. Legibility of Text**

Text displayed on a digital sign intended for a driver to read whilst passing must be large enough to be legible and not require the driver to strain to focus on the text.

All other text displayed on the digital sign must be small enough that it is not a distraction to a driver and may be read only from a stationary vehicle, or by other road users (such as pedestrians).

### **2.4.4. Complexity of Message**

The number of elements displayed on a digital sign should generally be no more than ten. Where a word, object, or logo may be counted as an element.

### **2.4.5. Instruction to Drivers**

The content displayed on a digital sign should not include any instructions to drivers or images that may be interpreted as directions.

Words that convey directions, such as turn, stop, enter or similar, should not be displayed.

Arrows that direct a driver to a destination should not be displayed.

Website addresses, phone numbers and social media instructions should not be displayed unless small enough that it is not a distraction to a driver and may be read only from a stationary vehicle, or by other road users (such as pedestrians).

### 3. Assessment – Warehouse

#### 3.1. Vehicle Access

Vehicle access is proposed via two crossovers on Division Street at shown in **Figure 11**. No vehicle access is proposed to Leach Highway.

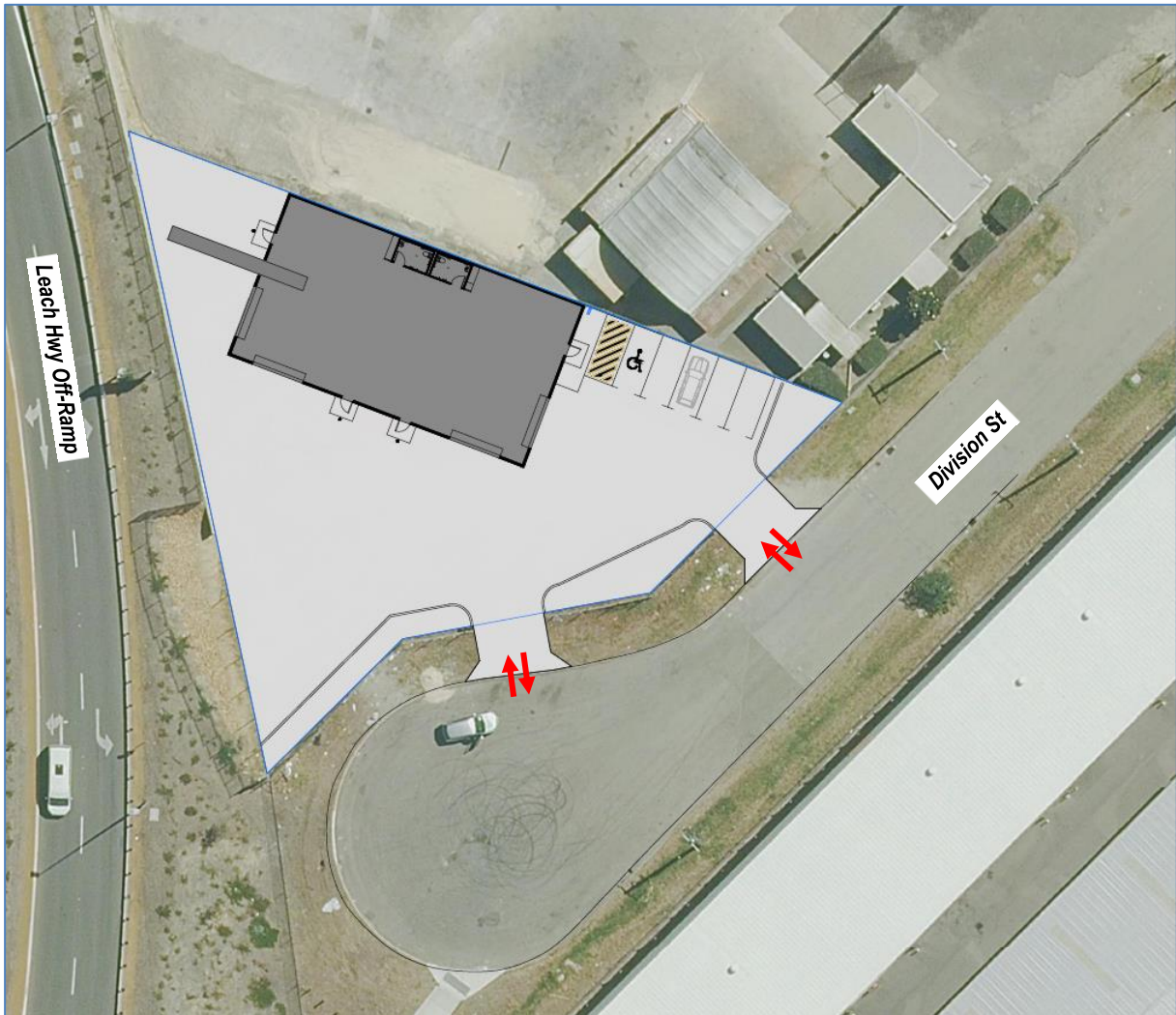
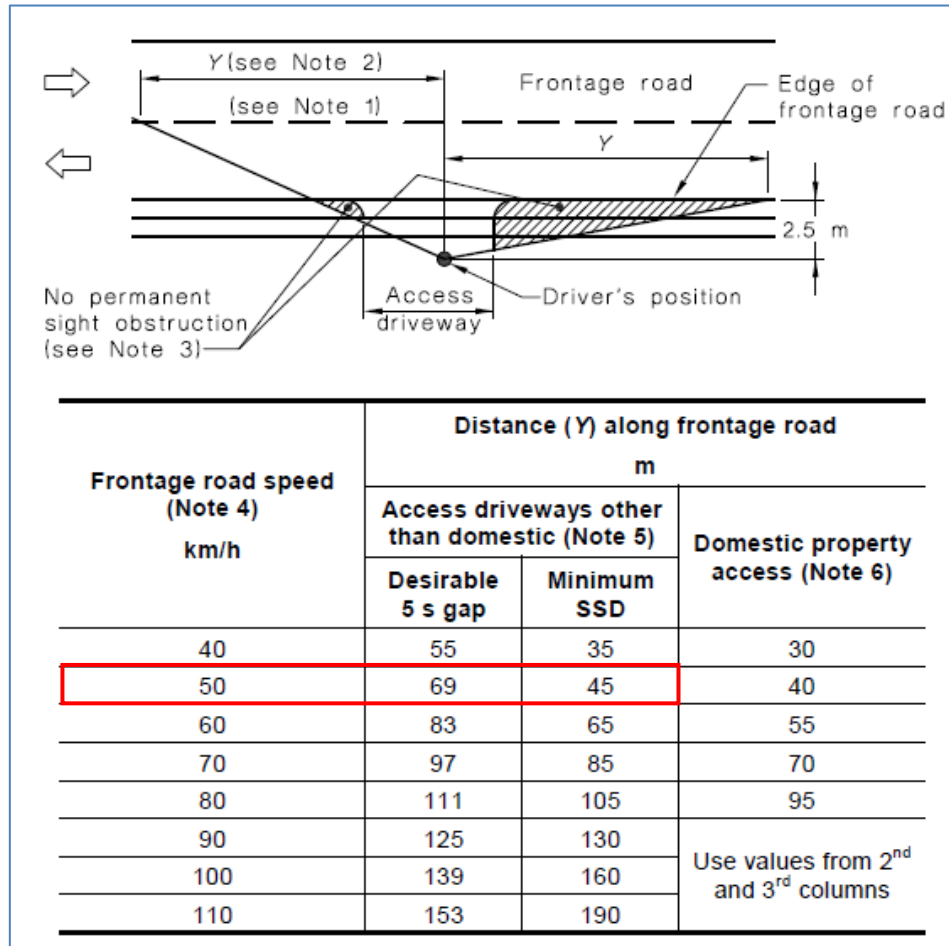


Figure 11: Proposed Vehicle Access



### 3.2. Access Sight Distance

Sight distance requirements from vehicle exit points is defined in Figure 3.2 of Australian Standard AS2890.1:2004 *Parking facilities Part 1: Off-street car parking* as shown in **Figure 12**.



**Figure 12: Sight Distance Requirements**

Based on the 50km/h speed limit along Division Street, the minimum required sight distance is 45m. As shown in **Figure 13**, the minimum sight distance is achieved from the eastern crossover towards the north-east. As the south-west is a cul-de-sac, minimal sight distance is required in this direction and at the western crossover.

Vertically, the geometry of the Division Street is relatively flat with no crests that would impede sight distance.

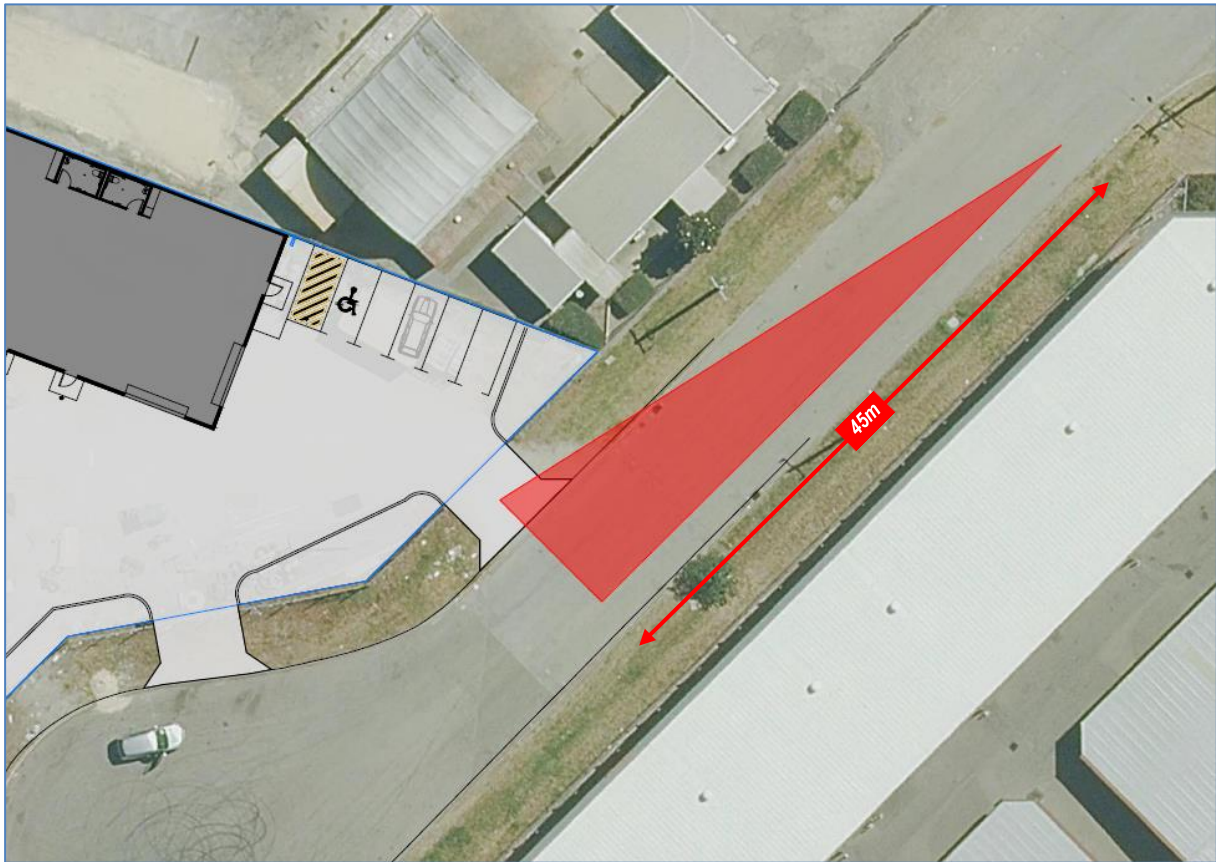


Figure 13: Sight Distance Check

### 3.3. Parking Requirements

Parking requirements for developments are outlined in the City's Local Planning Scheme No. 42 (LPS42). The minimum requirements for a warehouse (non-Centre Zone, up to 5,000m<sup>2</sup>) are 1 car space per 100m<sup>2</sup> NLA and 0.2 bicycle spaces per 100m<sup>2</sup> NLA.

Based on the approximate 348m<sup>2</sup> NLA, the minimum requirement is 3 car spaces and 1 bicycle space. The current parking provision is 5 car spaces and 4 bicycle spaces (2 rails) which exceeds the minimum requirements.

### 3.4. Parking Layout

The parking layout will need to comply with the requirements of Australian Standard AS2890.1. The user class will depend on the purpose of the bay as detailed in **Figure 14**.

9		AS/NZS 2890.1:2004	
<b>TABLE 1.1</b>			
<b>CLASSIFICATION OF OFF-STREET CAR PARKING FACILITIES</b>			
User class	Required door opening	Required aisle width	Examples of uses (Note 1)
1	Front door, first stop	Minimum for single manoeuvre entry and exit	Employee and commuter parking (generally, all-day parking)
1A	Front door, first stop	Three-point turn entry and exit into 90° parking spaces only, otherwise as for User Class 1	Residential, domestic and employee parking <i>Staff</i>
2	Full opening, all doors	Minimum for single manoeuvre entry and exit	Long-term city and town centre parking, sports facilities, entertainment centres, hotels, motels, airport visitors (generally medium-term parking)
3	Full opening, all doors	Minimum for single manoeuvre entry and exit	Short-term city and town centre parking, parking stations, hospital and medical centres <i>Pick up / Drop Off</i>
3A	Full opening, all doors	Additional allowance above minimum single manoeuvre width to facilitate entry and exit	Short term, high turnover parking at shopping centres
4	Size requirements are specified in AS/NZS 2890.6 (Note 2)		Parking for people with disabilities

**Figure 14: Classification of Parking Facilities**

Staff parking (long-term parking) would be classified as User Class 1A. Visitor parking (medium-term parking) would be classified as User Class 2.

An assessment of the AS2890.1 parking requirements is detailed in **Table 1**.

Table 1: AS2890.1 Car Parking Compliance

Dimension	Requirement	Provided
<b>90 degree parking – Class 1A – Long Term Parking (Staff)</b>		
Car Bay Width	2.4m	2.5m
Car Bay Length	5.4m	5.5m
Parking Aisle Width	5.8m	7.8m minimum
<b>90 degree parking – Class 2 – Medium Term Parking (Visitors)</b>		
Car Bay Width	2.5m	2.5m
Car Bay Length	5.4m	5.5m
Parking Aisle Width	5.8m	7.8m minimum

As shown, the key parking layout dimensions are compliant with AS2890.1 requirements.

### 3.5. Service Vehicles

A vehicle swept path analysis has been undertaken to check manoeuvring for service vehicles such as delivery and waste collection vehicles. The analysis has been undertaken in AutoTURN vehicle tracking software. As there is no confirmed tenant and the exact servicing requirements are to be confirmed, the template used is the Australian Standard 12.5m Heavy Rigid Vehicle (HRV) for maximum flexibility. It is unlikely that the site will need to be accessed by semi-trailers or larger articulated vehicles.

The results of the analysis are attached in **Appendix B** and this demonstrates that there is adequate room for the 12.5m HRV.

## 4. Conclusion

---

This traffic engineering review for the proposed warehouse and digital sign at 18 Division Street in Welshpool concluded the following:

- The minimum required visibility distance is achieved from the northbound carriageway of Leach Highway.
- From the pre-lodgement meeting with Main Roads WA, the crash risk category Level 1 has been assigned to the road segment.
- There are no existing road signs within the minimum distance that will be obstructed by the proposed digital sign.
- The proposed sign is not within any TCS prohibition zone.
- The proposed sign is not within any LUMS prohibition zone.
- Pre-lodgement advice from Main Roads WA is that the sign is not located in a CMPZ.
- The proposed digital sign is not within a road reserve and is not considered to be obtrusive or in opposition to the character of the area.
- The minimum dwell time for transitions of displays is calculated to be 19 seconds.
- Vehicle access is proposed via two crossovers on Division Street.
- The minimum required sight distance is achieved from the eastern crossover towards the north-east. As the south-west is a cul-de-sac, minimal sight distance is required in this direction and at the western crossover.
- The car and bicycle provision satisfies the minimum requirements outlined in the City's planning scheme.
- The key parking layout dimensions are compliant with AS2890.1 requirements.
- A vehicle swept path analysis indicates that the site will accommodate an Australian Standard 12.5m Heavy Rigid Vehicle.



## Appendix A – Development Plans

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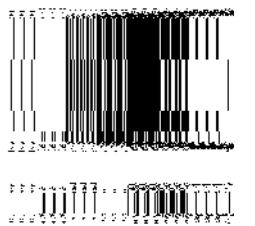
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ISSUED FOR DEVELOPMENT APPLICATION

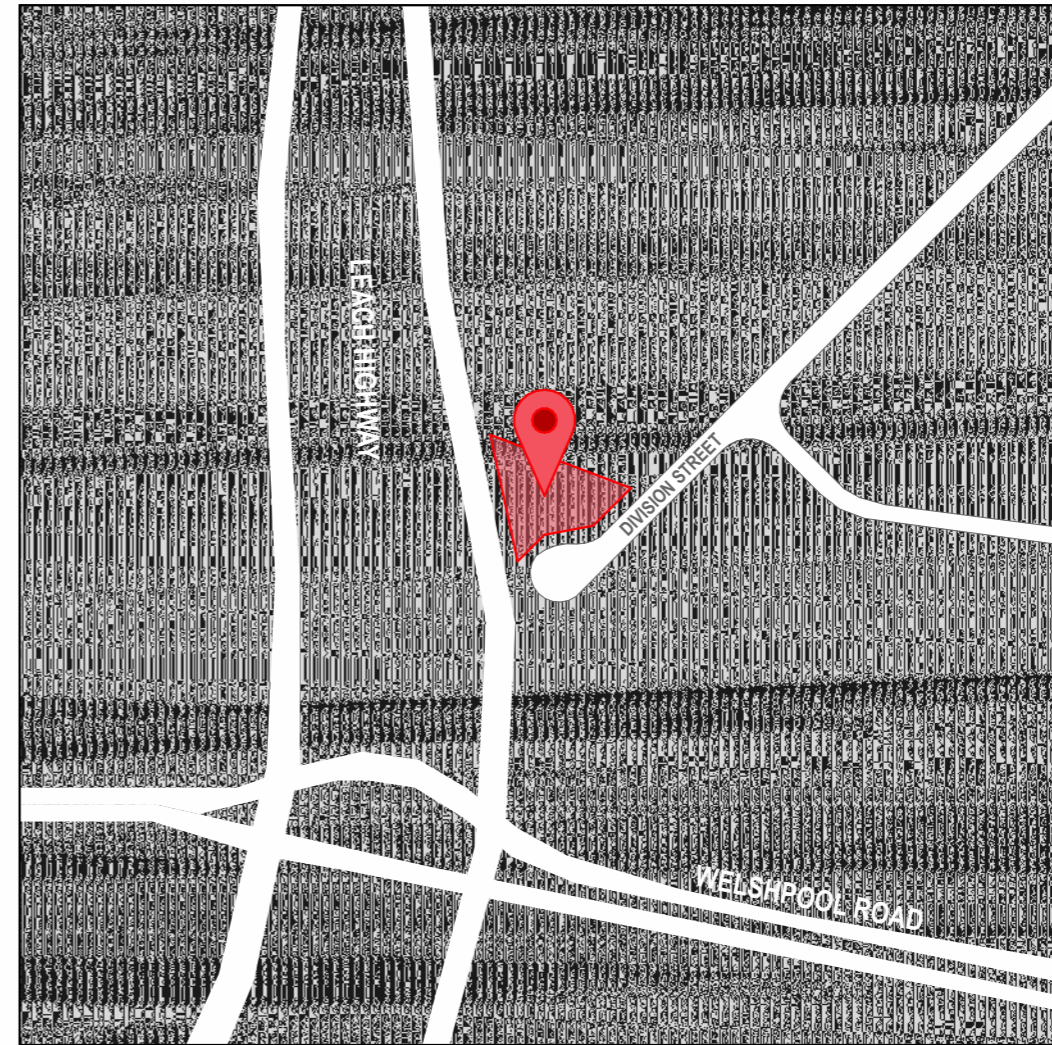
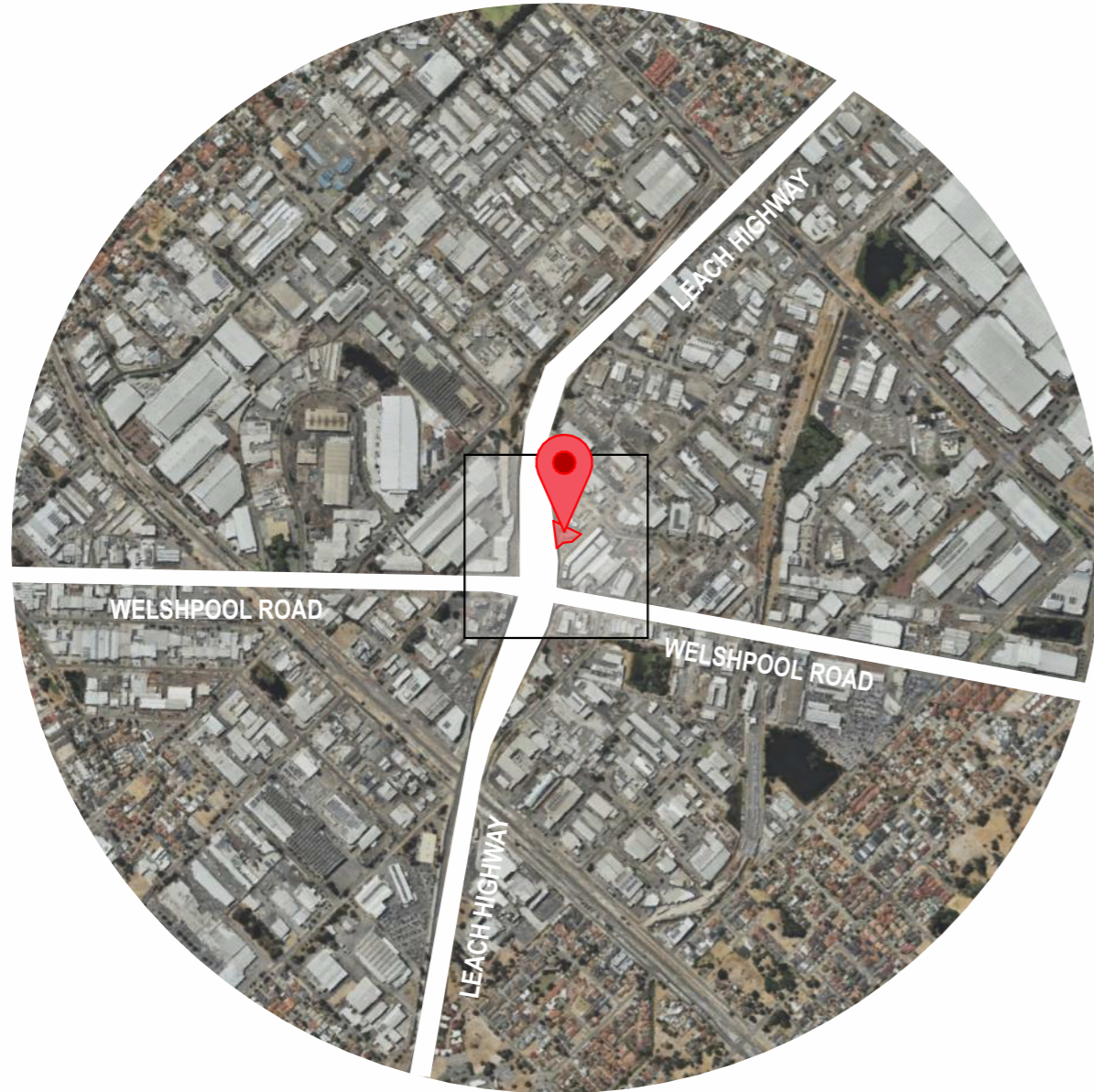
**18 DIVISION  
STREET,  
WELSHPOOL**

PROPOSED

**WAREHOUSE  
& BILLBOARD**



**GWYTH  
JONES**



PROPOSED  
**WAREHOUSE  
 & BILLBOARD**

**18 DIVISION STREET,  
 WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

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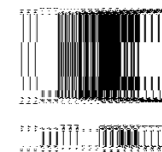
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SCALE  
 NTS

SHEET  
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DRAWING TITLE  
 LOCALITY PLAN



**GWYTH  
 JONES**



VIEW B

VIEW A

VIEW C

LEACH HIGHWAY

HIGHWAY WALL  
CRASH BARRIER

LEACH HIGHWAY OFF-RAMP

PROPOSED SIGN

PROPOSED WAREHOUSE

SUBJECT SITE

DIVISION STREET

PROPOSED  
**WAREHOUSE  
& BILLBOARD**

**18 DIVISION STREET,  
WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV **E**

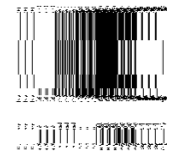
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1:500

SHEET  
A.02

DRAWING TITLE  
SITE CONTEXT PLAN



**GWYTH  
JONES**

**VIEW A**  
VIEW FROM OFF-RAMP



PROPOSED  
**WAREHOUSE  
& BILLBOARD**

**18 DIVISION STREET,  
WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV **E**

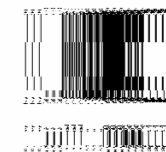
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SHEET  
A.03

DRAWING TITLE  
STREET VIEWS A



**GWYTH  
JONES**

**VIEW B**  
VIEW FROM HIGHWAY  
(SOUTH BOUND)



PROPOSED  
**WAREHOUSE  
& BILLBOARD**

**18 DIVISION STREET,  
WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV **E**

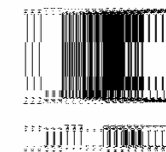
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DRAWING TITLE  
STREET VIEWS B



**GWYTH  
JONES**

**VIEW C**  
VIEW FROM HIGHWAY  
(NORTH BOUND)



PROPOSED  
**WAREHOUSE  
& BILLBOARD**

**18 DIVISION STREET,  
WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV **E**

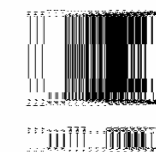
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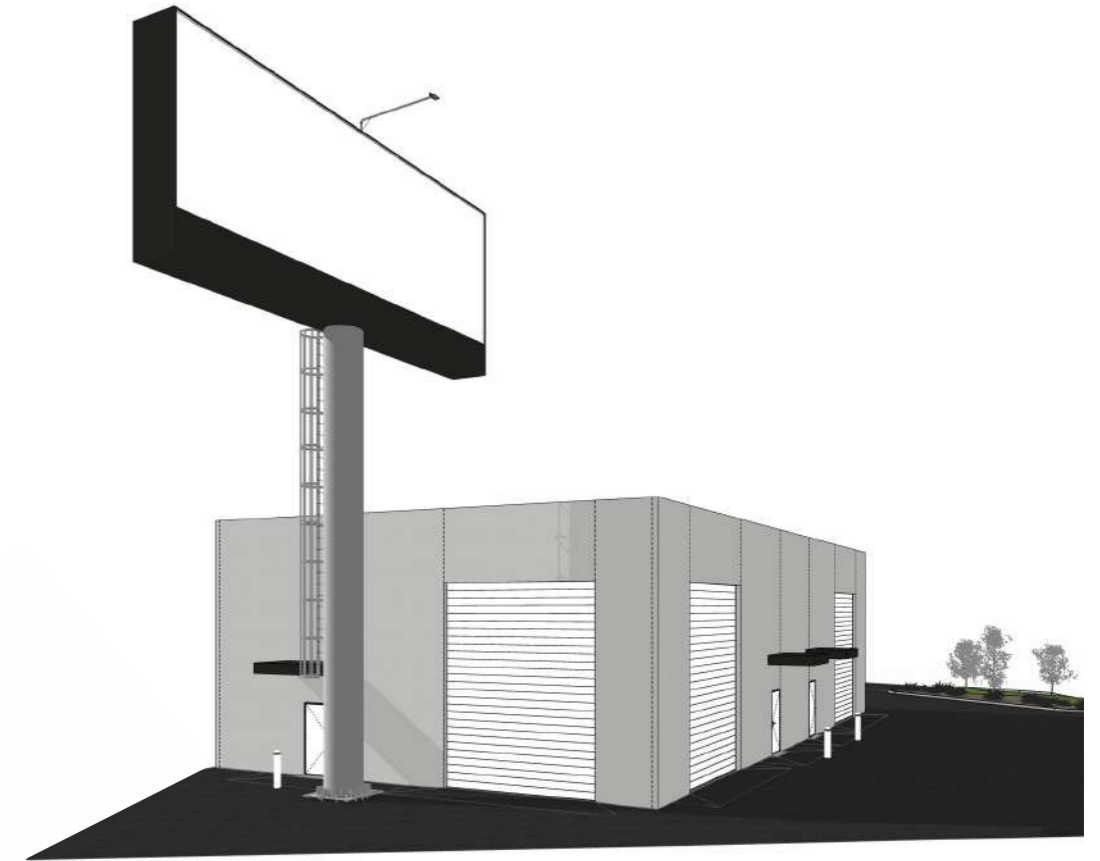
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STREET VIEWS C



**GWYTH  
JONES**

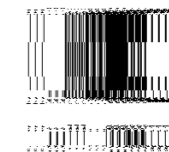


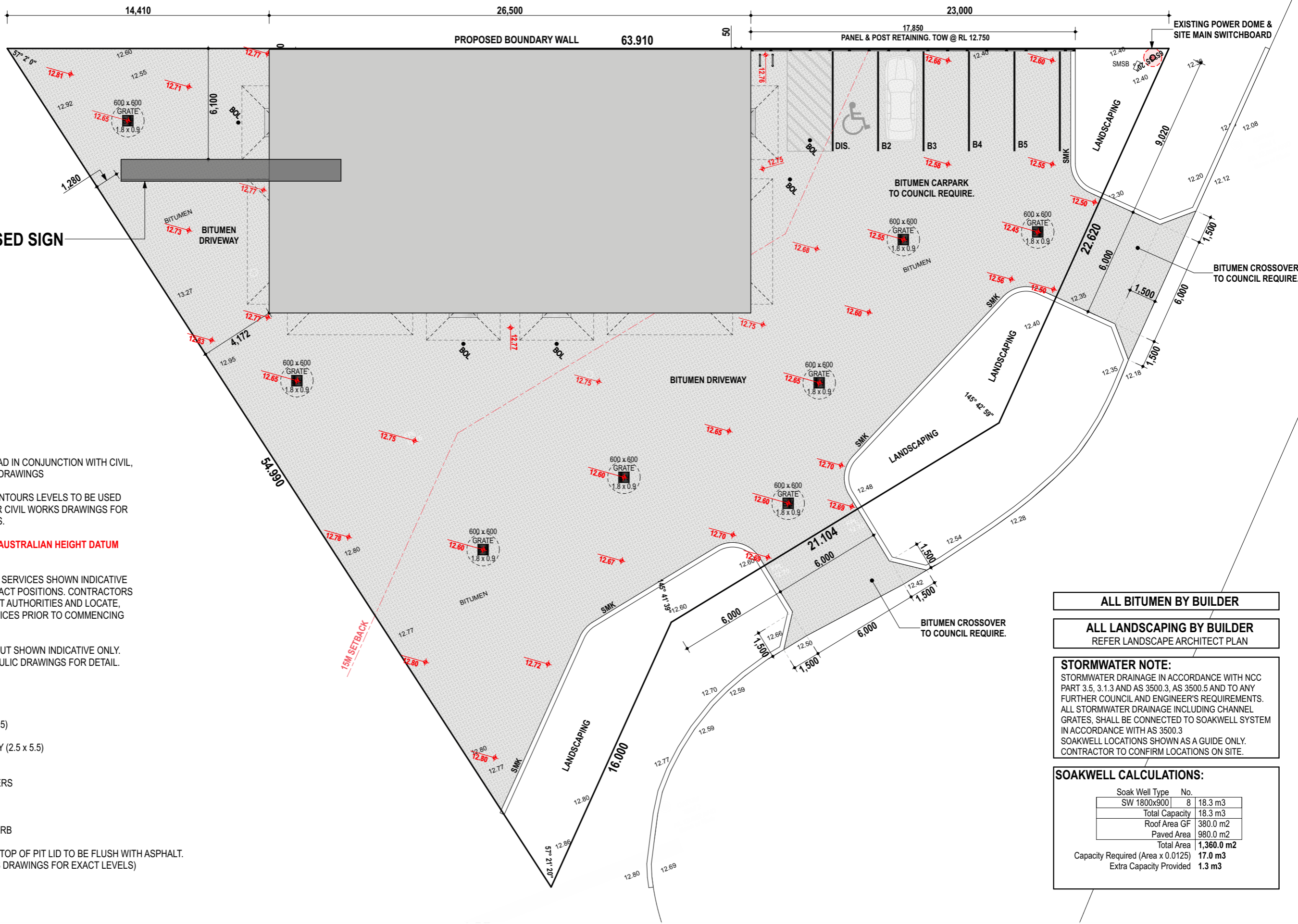
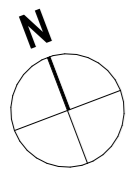
PROPOSED  
**WAREHOUSE  
 & BILLBOARD**

**18 DIVISION STREET,  
 WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV	<b>E</b>	JOB No. J25-020	SHEET SIZE ISO A3	SCALE 1:100	SHEET A.06	DRAWING TITLE PROJECT PERSPECTIVES
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**GENERAL NOTES:**

1. THIS DRAWINGS SHALL BE READ IN CONJUNCTION WITH CIVIL, HYDRAULIC AND ELECTRICAL DRAWINGS
3. AS EXISTING SITE SURVEY CONTOURS LEVELS TO BE USED FOR REFERENCE ONLY. REFER CIVIL WORKS DRAWINGS FOR PROPOSED LEVELS AND FALLS.
4. VERTICAL HEIGHT DATUM TO AUSTRALIAN HEIGHT DATUM (AHD)
5. ALL EXISTING UNDERGROUND SERVICES SHOWN INDICATIVE ONLY. CHECK ON SITE FOR EXACT POSITIONS. CONTRACTORS SHALL CONTACT ALL RELEVANT AUTHORITIES AND LOCATE, EXPOSE & PROTECT ALL SERVICES PRIOR TO COMMENCING WORK.
6. STORMWATER DESIGN & LAYOUT SHOWN INDICATIVE ONLY. REFER CIVIL WORKS & HYDRAULIC DRAWINGS FOR DETAIL.

**LEGEND**

- B PARKING BAY (2.5 x 5.5)
- DIS. VISITOR PARKING BAY (2.5 x 5.5)
- SPOT HEIGHT MARKERS
- BOLLARD
- SMK SEMI MOUNTABLE KERB
- GRATED SOAKWELL. TOP OF PIT LID TO BE FLUSH WITH ASPHALT. (REFER CIVIL WORKS DRAWINGS FOR EXACT LEVELS)

**ALL BITUMEN BY BUILDER**

**ALL LANDSCAPING BY BUILDER**  
REFER LANDSCAPE ARCHITECT PLAN

**STORMWATER NOTE:**  
STORMWATER DRAINAGE IN ACCORDANCE WITH NCC PART 3.5, 3.1.3 AND AS 3500.3, AS 3500.5 AND TO ANY FURTHER COUNCIL AND ENGINEER'S REQUIREMENTS. ALL STORMWATER DRAINAGE INCLUDING CHANNEL GRATES, SHALL BE CONNECTED TO SOAKWELL SYSTEM IN ACCORDANCE WITH AS 3500.3  
SOAKWELL LOCATIONS SHOWN AS A GUIDE ONLY. CONTRACTOR TO CONFIRM LOCATIONS ON SITE.

**SOAKWELL CALCULATIONS:**

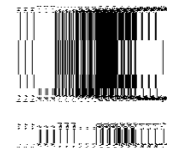
Soak Well Type	No.	Capacity
SW 1800x900	8	18.3 m3
<b>Total Capacity</b>		<b>18.3 m3</b>
Roof Area GF		380.0 m2
Paved Area		980.0 m2
<b>Total Area</b>		<b>1,360.0 m2</b>
Capacity Required (Area x 0.0125)		17.0 m3
Extra Capacity Provided		1.3 m3

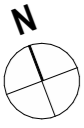
PROPOSED  
**WAREHOUSE & BILLBOARD**

**18 DIVISION STREET,  
WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

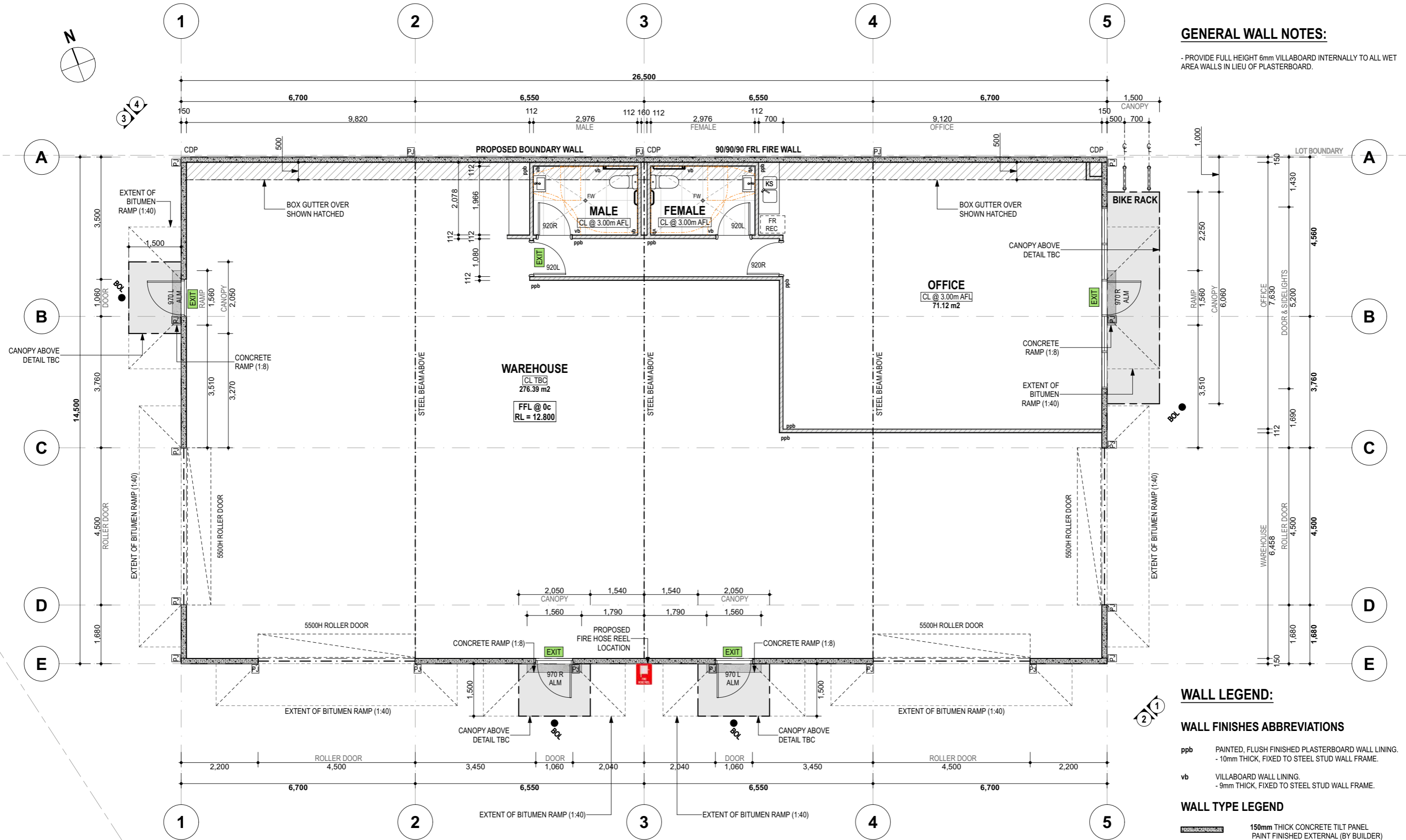
REV	E	JOB No.	SHEET SIZE	SCALE	SHEET	DRAWING TITLE
		J25-020	ISO A3	1:200	A.07	SITE PLAN





### GENERAL WALL NOTES:

- PROVIDE FULL HEIGHT 6mm VILLABOARD INTERNALLY TO ALL WET AREA WALLS IN LIEU OF PLASTERBOARD.



### WALL LEGEND:

#### WALL FINISHES ABBREVIATIONS

- ppb** PAINTED, FLUSH FINISHED PLASTERBOARD WALL LINING.  
- 10mm THICK, FIXED TO STEEL STUD WALL FRAME.
- vb** VILLABOARD WALL LINING.  
- 9mm THICK, FIXED TO STEEL STUD WALL FRAME.

#### WALL TYPE LEGEND

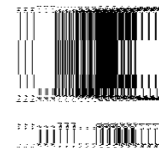
- 150mm THICK CONCRETE TILT PANEL  
PAINT FINISHED EXTERNAL (BY BUILDER)
- 92mm STEEL STUD WALL FRAMING TO  
MANUFACTURERS SPECIFICATIONS WITH  
10mm PLASTERBOARD LINING INTERNALLY U.N.O.

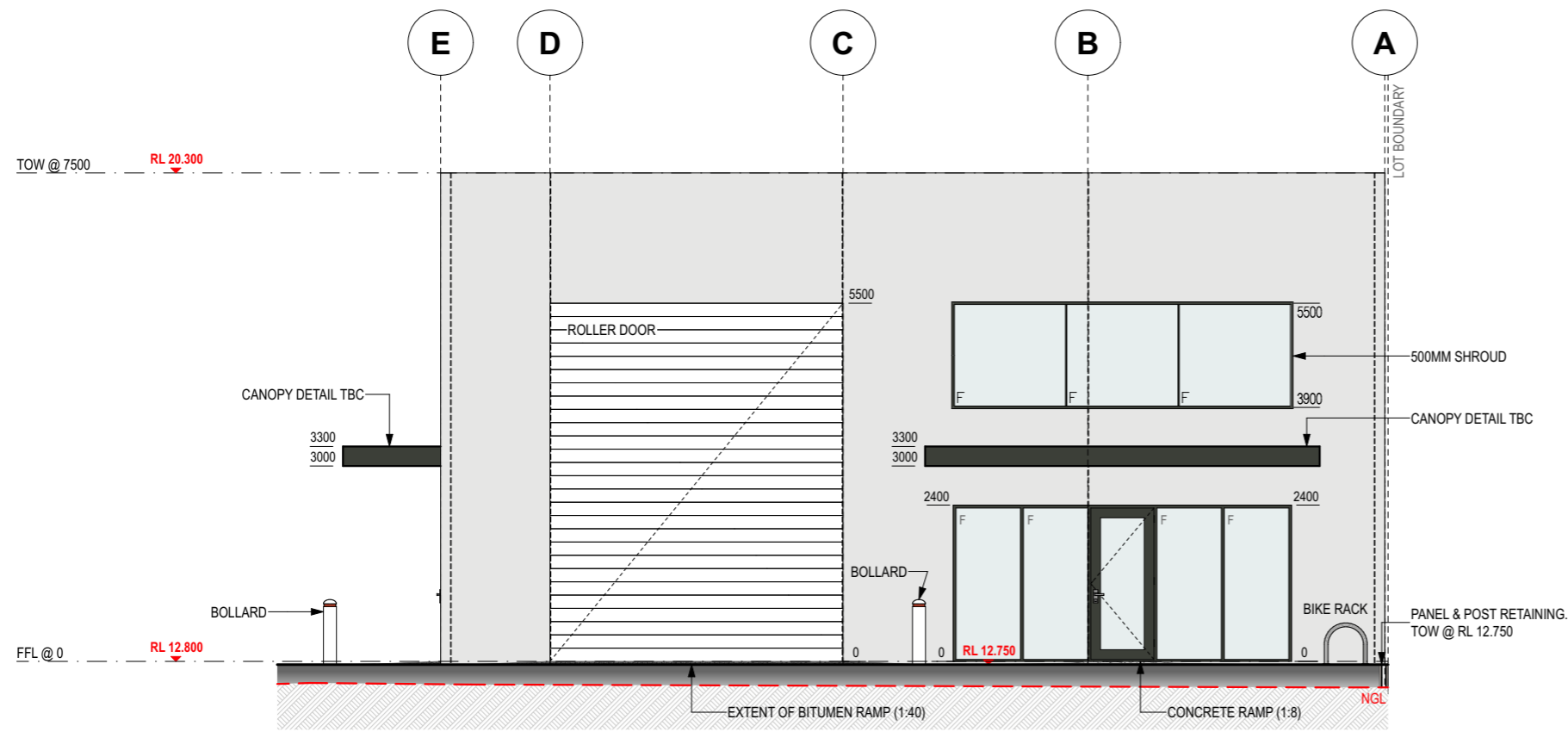
PROPOSED  
**WAREHOUSE  
& BILLBOARD**

**18 DIVISION STREET,  
WELSHPOOL**

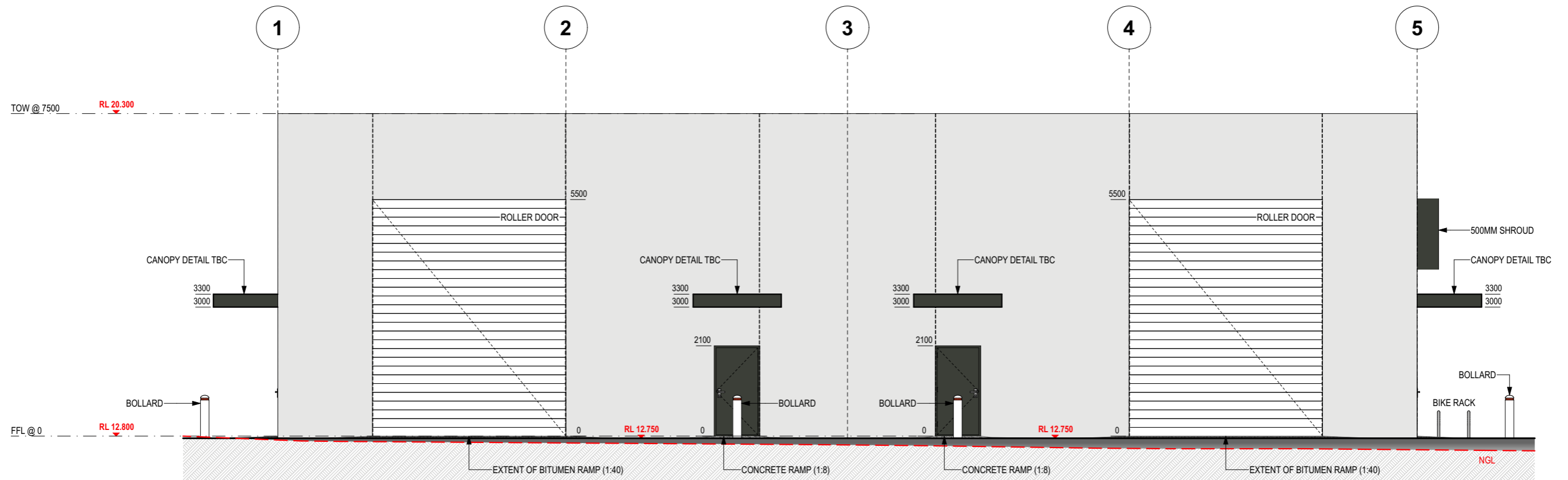
ISSUED FOR DEVELOPMENT APPLICATION

REV **E** JOB No. J25-020 SHEET SIZE ISO A3 SCALE 1:100 SHEET A.08 DRAWING TITLE FLOOR PLAN

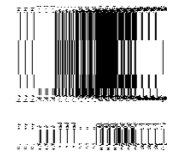




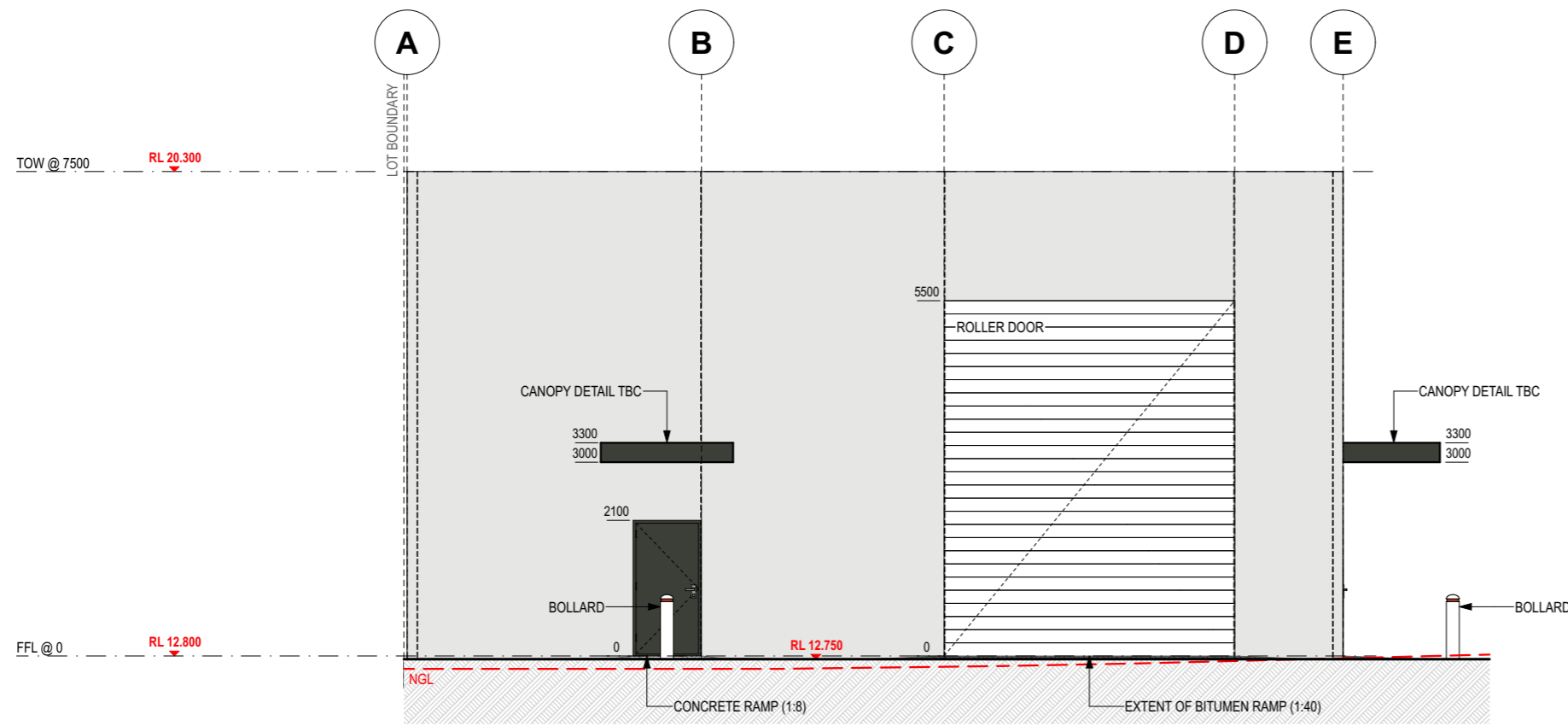
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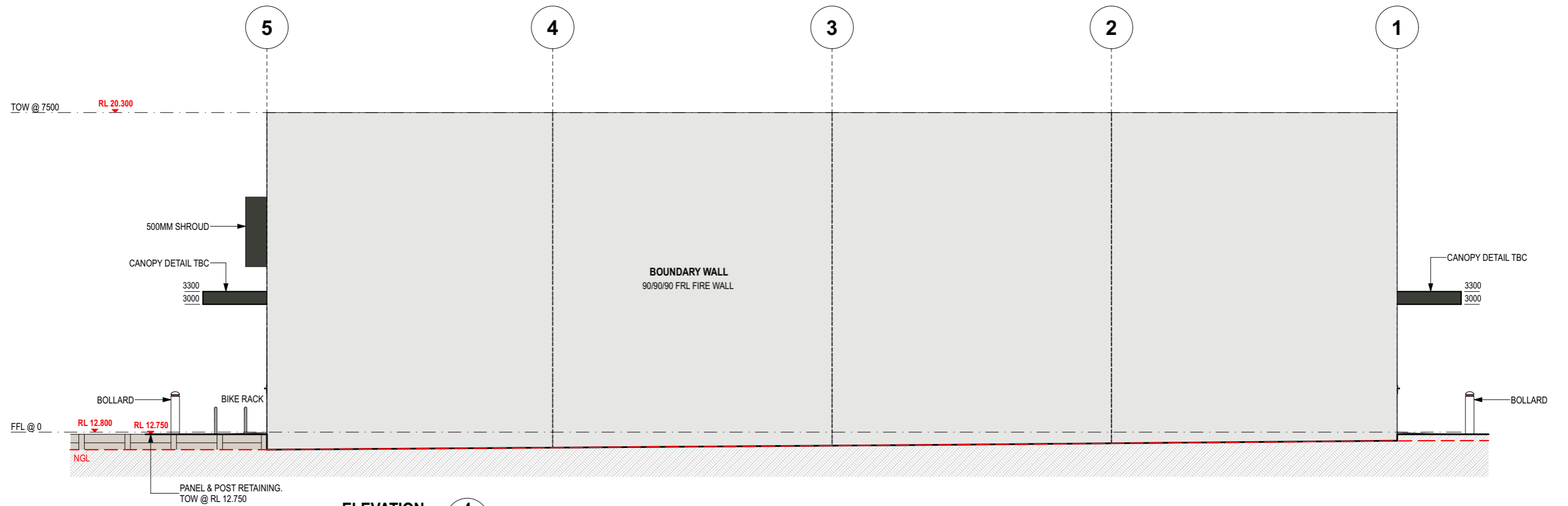
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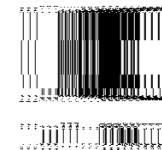
**GWYTH JONES**

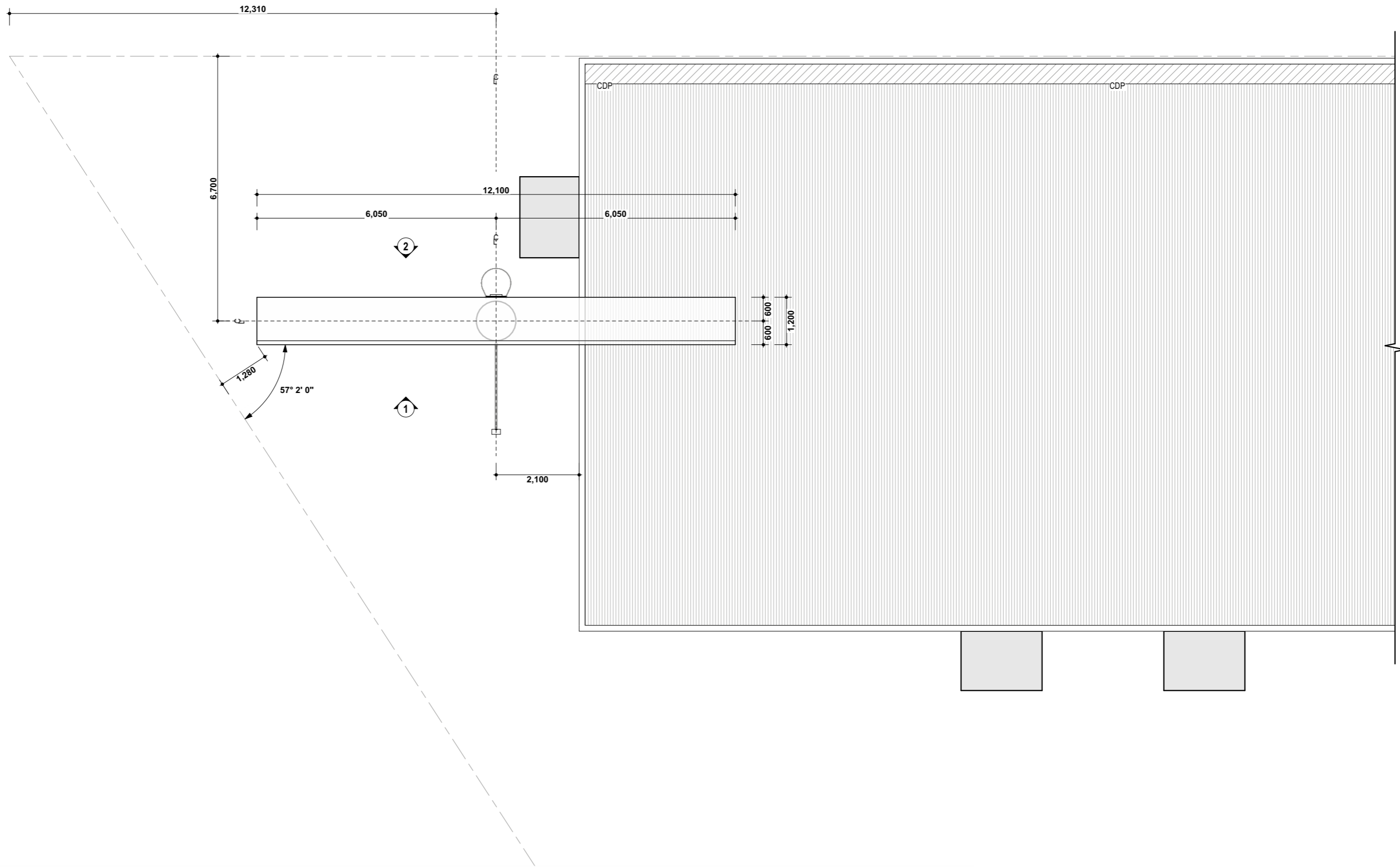
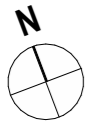


**ELEVATION 3**  
1:100  
A.08



**ELEVATION 4**  
1:100  
A.08





PROPOSED  
**WAREHOUSE  
& BILLBOARD**

**18 DIVISION STREET,  
WELSHPOOL**

ISSUED FOR DEVELOPMENT APPLICATION

REV **E**

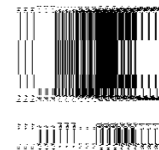
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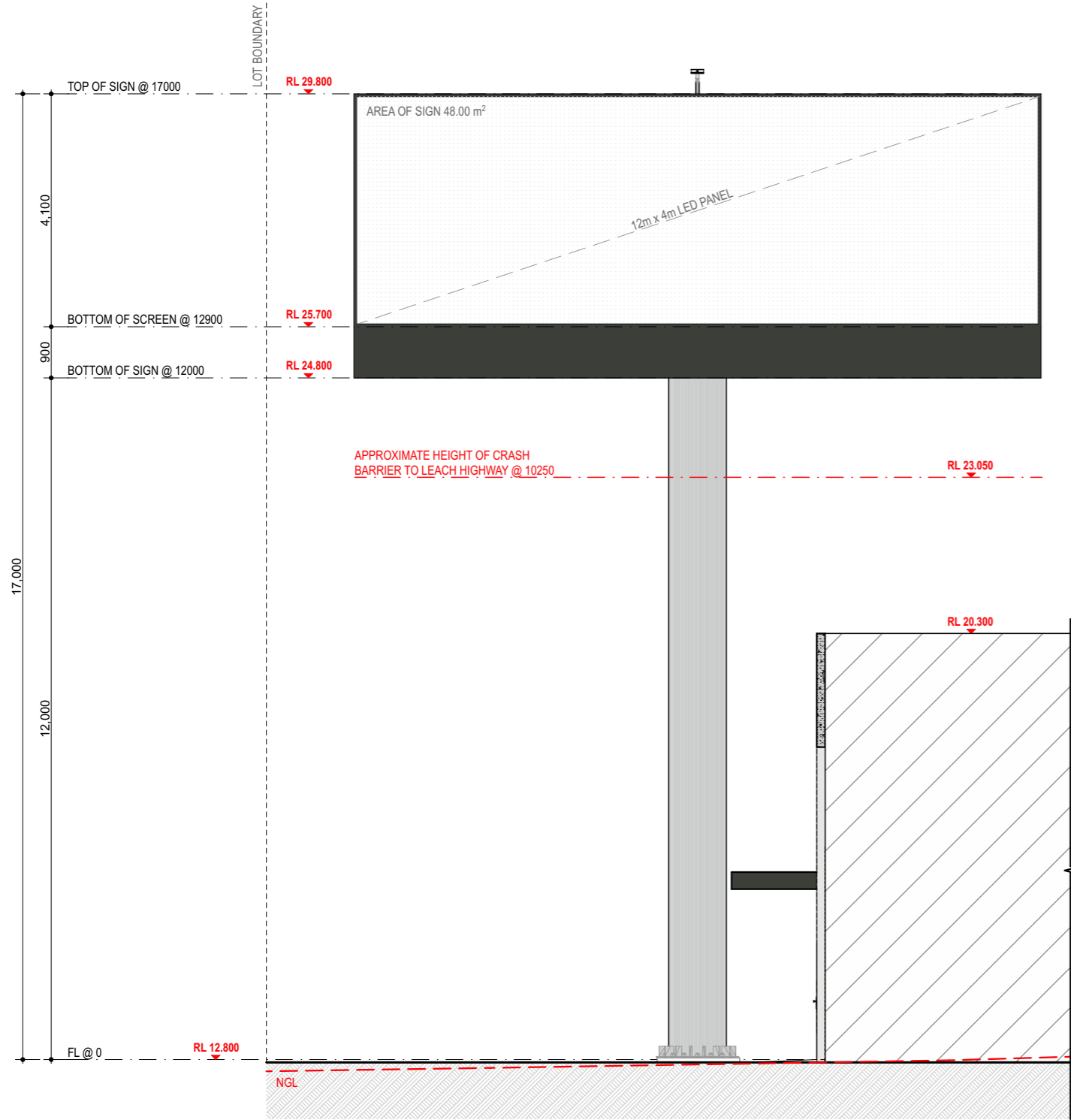
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SHEET  
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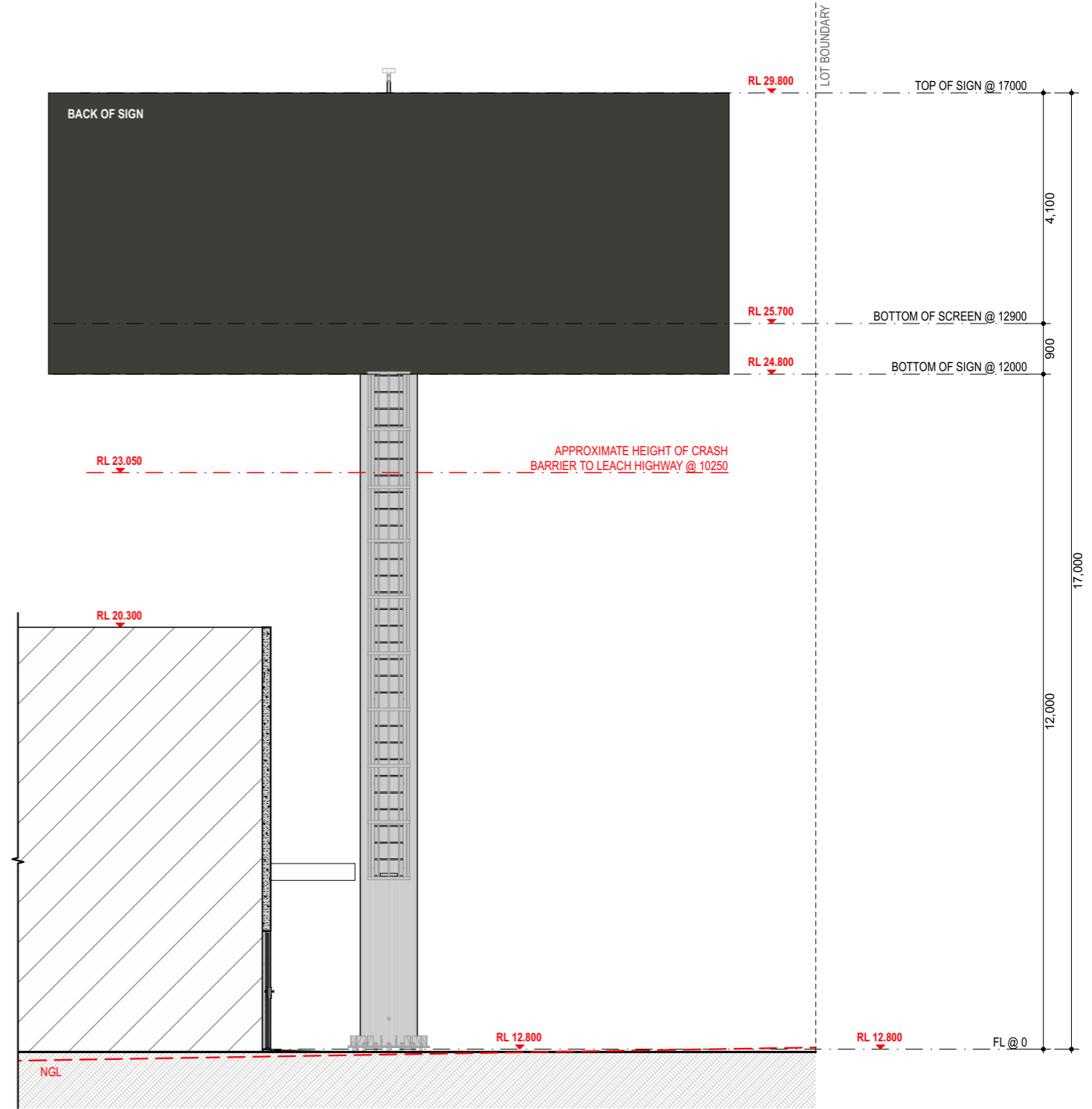
DRAWING TITLE  
SIGN PLAN



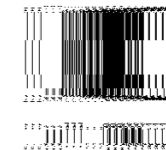
**GWYTH  
JONES**



**SIGN ELEVATION 1**  
1:100  
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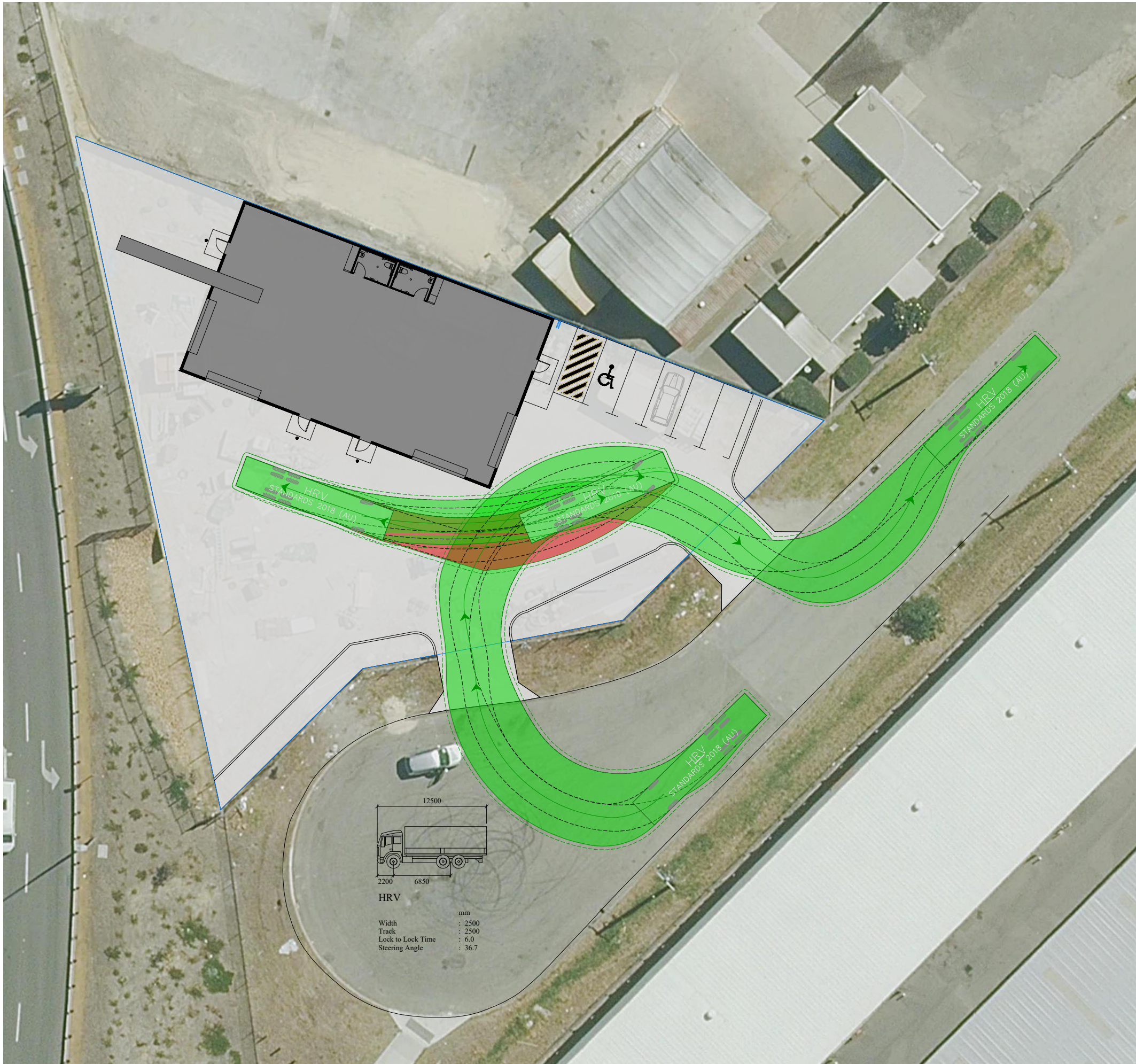
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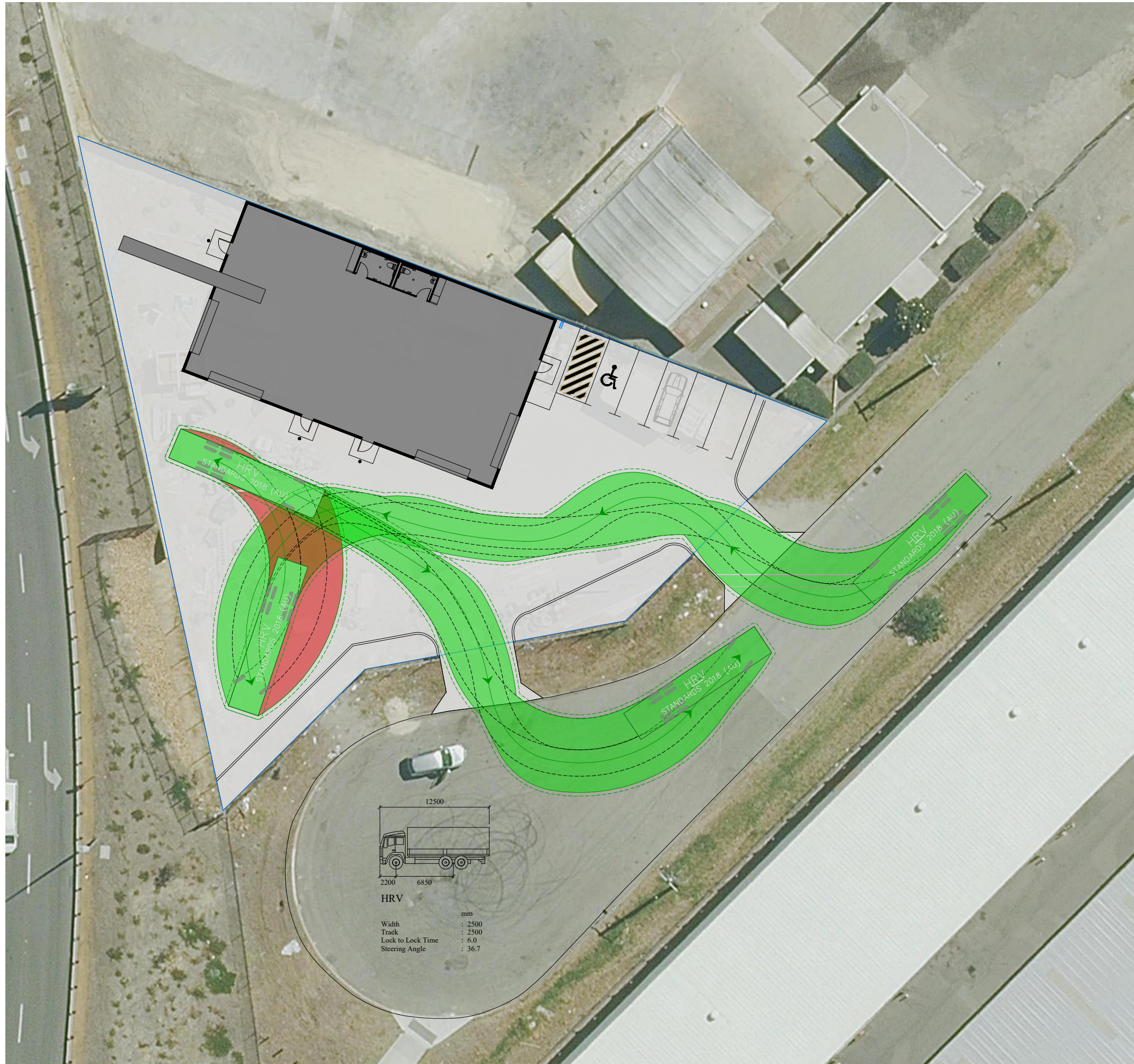




## Appendix B – Vehicle Swept Paths

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# WASTE MANAGEMENT PLAN

Industrial Warehouse Development  
18 Division Street, Welshpool

## 1.0 Introduction

This waste management plan (WMP) assists and supports a storage warehouse to be located at 18 Division Street, Welshpool, as part of a Development Application currently awaiting determination before the City of Canning.

The WMP has been developed through engagement with the project team and review of the plans around suitable waste storage, collection, and provision of waste facilities and infrastructure.

The proposal consists of a storage warehouse surrounded by bitumen hardstand. The approach of this WMP is to ensure that a commercial waste management agreement is established for the site, which provides an adequate level of service and provides for flexibility in response to future demand.

The WMP is based on the WALGA Better Practice Guidelines for Commercial and Industrial Waste Management, ensuring the use of appropriate waste generation calculation rates. This will ensure that the waste storage capacity available onsite is sufficient to meet occupant demand, and protect the amenity of users of the development.

## **2.0 SUMMARY OF DEVELOPMENT**

The proposal is for a storage warehouse, which would have a total floor area of 384m<sup>2</sup>, alongside ancillary third-party signage, based on the plans provided.

### **2.1 Location of Development**

The development is located on Division Street, Welshpool, within the municipality of the City of Canning.

The development is located within the Welshpool industrial area and is surrounded by other industrial land uses. The rear of the property abuts the southbound carriageway of Leach Highway.

### **2.2 Number of Floors**

The proposal consists of a one-storey building. The plans provided do not stipulate the construction of a mezzanine level within the warehouse, and the calculations within this WMP reflect this.

### **2.3 Number of Dwelling Units by Size**

The proposal does not contain any residential units as it is purely an industrial development.

### **2.4 Size of Each Commercial Unit**

The proposed warehouse holds a single tenancy, for use as a storage facility, with ancillary office space. The net lettable area designated to warehouse/storage space is 276m<sup>2</sup>, and the net lettable area outlined for office use is 71m<sup>2</sup>. For the purposes of this waste management plan, the floor areas of the warehouse area and office space have been rounded up, to 300m<sup>2</sup> and 100m<sup>2</sup>, respectively, for simplicity.

### **2.5 Details of the Intended Use of the Development**

The development is designed and proposed to be a warehouse storage premises, surrounded by bitumen hardstand and serviced by two crossovers to the property's Division Street frontage.

### 3.0 WASTE GENERATION RATES

The WALGA Guidelines for Waste Management have been utilised for the purpose of deriving waste generation rates for the proposal.

As this proposal relates to industrial waste generation rates only, the rates applied are strictly for commercial projects only.

#### 3.1 Waste Calculation Rates

The following table details the gross waste generation rates for the development. Due to the WALGA guidelines not providing specific rates for warehouse storage uses, waste generation calculations have been based on the rates provided for non-food retail showrooms. The warehouse's floor area has been rounded up to 300m<sup>2</sup> for simplicity of calculation. Similarly, the office's floor area has been rounded up to 100m<sup>2</sup> for simplicity of calculation.

Commercial Waste Rate	Refuse (L/week)	Recycling (L/week)
Showroom	280L per 100m <sup>2</sup> floor space	70L per 100m <sup>2</sup> floor space
Office	70L per 100m <sup>2</sup> floor space	70L per 100m <sup>2</sup> floor space
Gross waste generation/week	910L per week	280L per week

##### 3.1.1 Refuse

The proposal has a generation of 910 litres of general refuse per week, consisting of 840L per week from warehouse areas, and 70L from office areas.

##### 3.1.2 Recycling

The proposal has a generation of 280 litres of recyclable waste per week, consisting of 210L per week from warehouse areas, and 70L from office areas.

#### 4.0 BIN STORAGE AREA

The proposal's plans do not indicate the location of a designated bin storage area. Nonetheless, the layout of the proposed development has the potential to provide for bin storage in a suitable location screened from view from the street, either internally, or external to the building. This is further enabled via the use of 240L bins as stipulated below, which provide for a high degree of manoeuvrability, with bins of a size capable of being concealed by proposed structures. The exact location of the bin storage area is to be decided subject to further detailing, prior to submission for a building permit.

#### 4.1 Waste Disposal

Warehouse staff and service contractors attending the site will be required to present waste to the bin storage location.

#### 4.2 Bin Storage Area Size

The bin storage area for the warehouse is based on the following generation rates and storage capacity, based on weekly collection:

Commercial Waste Rate	Refuse (L/week)	Recycling (L/week)
Showroom	280 per 100m <sup>2</sup> floor space	70 per 100m <sup>2</sup> floor space
Office	70 per 100m <sup>2</sup> floor space	70 per 100m <sup>2</sup> floor space
Gross waste generation/day	910	280
Bin storage area requirement	4 x 240L bins	2 x 240L bins

The central bin storage area is therefore required to be capable of catering for six (6) 240L bins, including four (4) 240L general waste bins, and two (2) 240L recycling bins.

#### 4.3 Bin Storage Area Layout

While the precise location of the bin storage area is yet to be determined, the number and dimensions of bins would enable the provision of suitable concealed bin storage areas either internally or external to the building, with adequate space for access and the manoeuvrability of bins.

#### 4.4 Alternative Waste

Any alternative waste such as hard, bulk or hazardous waste is to be coordinated for separate removal through occupants coordinating with local municipal verge valet or other private bulk waste removal services as appropriate.

#### 4.5 Wash-Down Facilities

The bin storage area is to be equipped with a tap and suitable drainage facilities, to enable wash-down of bins onsite following collection. Final detailing is to occur at the building permit stage of the project.

#### 4.6 Ventilation

Where the bin storage area is to be located outside, the bin storage area will receive sufficient natural ventilation. Notwithstanding, as the precise location of the bin storage area is yet to be confirmed, further detailing as to the artificial ventilation requirements of the bin storage area are to be confirmed at the building permit stage of the project.

#### **4.7 Vermin Protection**

The bin store is to be treated with vermin proof solutions, with final detailing to occur at building permit stage of the project.

#### **4.8 Noise Reduction**

As the bin stores do not include any mechanical infrastructure by way of compactors, the noise emanating from each bin store is limited to opening and closing of bins, which is a minimal acoustic impact.

#### **4.9 Stormwater Ingress Prevention and Drainage**

As noted on the proposal's drawings, all stormwater is collected and treated onsite. Stormwater protection and drainage details for the bin storage area are to be finalised at the building permit stage of the project.

## **5.0 COLLECTION METHOD AND FREQUENCY**

### **5.1 Collection Vehicle to be Utilised**

The proposal is to be serviced via private collection. Accordingly, the private contractor will assess the requirements as to the appropriate vehicle for collection.

### **5.2 Movement of Collection Vehicles/Swept Path Analysis**

As waste is proposed to be collected by the private contractor internally, swept paths have been included on the proposal's Traffic Engineering Assessment Report. As reflected in the report, the development can sufficiently cater for the swept path movement of a 12.5m long heavy rigid vehicle. Given the industrial nature and scale of the development, and the inclusion of two crossovers, there is not anticipated to be any movement issues for waste collection vehicles.

### **5.3 Collection Location**

All bins will be collected by the contractor within the site. The attached architectural plan set shows that the hardstand yard of the warehouse has ample space for the access and collection of all bins by the contractor, and any required movements of the vehicle.

### **5.4 Transfer of Waste to the Collection Vehicle**

With respect to the transfer of waste to the collection vehicle, the bins will be collected from the bin storage area by the waste contractors as part of the servicing arrangement. The use of 240L bins enables for this transfer to occur manually, without the use of assisting machinery or equipment.

### **5.5 Frequency of Collection**

The provision of waste receptacles for the development is based on weekly private collection.

As the service is via private contractor, the frequency of collection can be adjusted to reflect changes to the ongoing operational needs of the site, should these changes be deemed necessary.

### **5.6 Chutes**

The proposal only caters to at grade waste disposal and does not include any provisions for a bin chute.

### **5.7 Compactor**

The proposal is shown to adequately cater to the waste generation rates through the quantity and capacity of bins nominated in this report. Accordingly, there is no requirement for a compactor in the development, and the avoidance of such infrastructure reduces the potential for acoustic impacts on building occupants and neighbouring land uses.

### **5.8 Bin Lifter**

As the development is serviced with individual bins, there is no requirement or need to provide bin lifters. Occupants and service contractors will not be expected to transfer waste from smaller bins into larger receptacles, given the waste approach for the development does not propose any such double-handling methods.

## **6.0 WASTE PROVIDER**

The proposal has been designed to cater for the provision of private contractor-based waste collection services in accordance with the WALGA Guidelines.



## **7.0 EDUCATION**

The education of warehouse staff by the responsible onsite manager will be required, to confirm the obligations of staff with respect to waste management presentation to the central bin store.

The bins are to remain behind setback lines and be kept clear from the view of the street at all time. Bins are additionally to be kept free of vehicle and pedestrian access routes, so as not to create impediments to the movement of vehicles and/or pedestrians accessing the site.

Staff of the warehouse are to be appraised of these requirements through site management, and other staff are encouraged to report any infractions on this requirement not being followed. This will work to ensure optimized waste storage on the property, and to comply with the future development approval for the project, alongside general requirements.



## 8.0 ONGOING MANAGEMENT

In accordance with the proposed plans of the development, the ongoing management and coordination of the waste management approach for the development will be the responsibility of the warehouse manager to coordinate, and warehouse staff to implement and execute, with respect to the appropriate use of the central bin store.

Warehouse management will therefore be tasked with upholding the requirements of staff to appropriately dispose of waste, and exercise appropriate waste separation practices, when presenting waste to the bin storage area, at all times.

Similarly, staff are also required to attend to the good and regular functioning of waste services at the property, including:

- Regular checking of the bin store area;
- Regular and consistent use of the correct bin streams;
- Reporting of any issues to warehouse management;
- Ensuring bins are kept to the approved bin storage location at all times; and
- Coordination of other incidental waste collection, such as bulk or hazardous waste.

Incidental waste collection such as bulk or hard waste, or building materials waste is to be coordinated between the centre management and waste service contractors, liaising with the local government authority where necessary.



mainroads  
WESTERN AUSTRALIA

Enquiries: Janarthanan Jegathesan on (08) 9323 6401  
Our Ref: 08/4453 (D25#683686)  
Your Ref: DAP25/0003

24 July 2025

Chief Executive Officer  
City of Canning  
Locked Bag 80  
WELSHPOOL WA 6986

Email: [planningcomms@canning.wa.gov.au](mailto:planningcomms@canning.wa.gov.au) (via email)

Dear Sir/Madam,

**DEVELOPMENT ASSESSMENT PANEL – PROPOSED WAREHOUSE AND LARGE  
FORMAT DIGITAL SIGN – LOT 786 (NO.18) DIVISION STREET, WELSHPOOL –  
DAP25/0003**

In response to correspondence received on 12 June 2025, please be advised Main Roads supports the development proposal and recommends that if development approval is granted, the following conditions are imposed:

Conditions

1. Minimum dwell time is 20 seconds.
2. Luminance levels no more than 6,000 cd/m<sup>2</sup> during the day, 600 cd/m<sup>2</sup> dawn/dusk, and 250 cd/m<sup>2</sup> during the night.
3. The signs and sign structures are to be placed on private property and shall not overhang or encroach upon the Primary Regional Road Reservation.
4. Digital sign(s) shall not flash, pulsate or chase during all hours.
5. The device must not contain fluorescent, reflective or retro-reflective colours or materials.
6. Vegetation within the Primary Road Reservation shall not be removed or trimmed to improve the visibility of the proposed advertising devices.
7. Stormwater discharge shall not exceed pre-development discharge to Leach Highway road reserve.

Advice

- a. The operation of the proposed digital sign will be subject to a separate approval process. The applicant is advised that a formal application is to be submitted to Main Roads for assessment and approval. For application forms and supporting information about the procedure please refer to Section 9 of Main Roads' *'Policy and Assessment Guidelines for Digital Advertising Signs'* which can be found on the Main Roads website.
- b. Main Roads agreement is to be obtained prior to any modifications.



- c. No works are permitted within the road reserve unless a Working on Roads Permit has been issued by Main Roads.
- d. The applicant is required to submit an Application form to undertake works within the road reserve prior to undertaking any works within the road reserve. Application forms and supporting information about the procedure can be found on the Main Roads website > Technical & Commercial > Working on Roads.

Main Roads encourages local government in liaising with applicants to promote and capitalise on our pre-lodgement consultation service, prior to lodgement of planning proposals, especially where development plans involve land adjacent to or have the potential to impact on the State Road network.

Further information on the pre-lodgement consultation process can be found on Main Roads website at [mainroads.wa.gov.au](http://mainroads.wa.gov.au) > Technical & Commercial > Planning & Development

Should the City disagree with the above conditions or require further information please do not hesitate to contact Janarthanan Jegathesan on (08) 9323 6401 prior to the submission of the City's Responsible Authority Report.

Please ensure a copy of the JDAP's final determination is sent to [planninginfo@mainroads.wa.gov.au](mailto:planninginfo@mainroads.wa.gov.au).

Yours sincerely

A handwritten signature in cursive script that reads 'CFudge'.

Chris Fudge  
**A/Road Access and Planning Manager**



## Public Notice of Application for Development Approval

The local government has received an application to use and/or develop land for the following purpose and public comments are invited.

Lot No: 754 Street 1B

Suburb: Division Street, Wilestapool

Proposal:

Warehouse/Storage and Office building, and Use Not Listed (Large Format Digital Signage)



Details of the proposal and information on how to make a submission are available to the public at <https://www.yoursaycanning.com.au/>

Submissions may be made on the proposal until 30 August 2023

Comments on the proposal may be submitted to the local government by writing on or before that day.



Public Notice  
of Development  
Application











**SUBJECT SITE**

**LOCATION A**

**LOCATION B**

**LOCATION C**

Location A



Location A



Location B



Location B



Location B



Location C



Location C



Location C

