



Statutory Planning Committee Agenda

**Notice is hereby given the next meeting of the
Statutory Planning Committee will be:**

**Special Meeting
Thursday, 16 October, 2025, 1:30 pm**

1. Meeting Opening and Commencement

1.1 Acknowledgement of Country

1.2 Apologies and leave of absence

Member Franklin - Apology

Member Harman - Apology

1.3 Disclosure of interests

1.4 Disclosures of representation

1.5 Declaration of due consideration

2. Deputations and presentations

2.1 Development Application – Women and Babies Hospital Stage 1 Works – Lot 106 (No. 19) Jennalup Street, Murdoch (Item 3.1)

7 - 9

Presenter: Kate Bainbridge - City of Melville

2.2 Development Application – Women and Babies Hospital Stage 1 Works – Lot 106 (No. 19) Jennalup Street, Murdoch (Item 3.1)

10 - 11

Presenter: Rebecca Travaglione - WA Life, Marcel Barakat – WeBuild and Raul Used – Department of Housing and Works

3. Non-confidential items for discussion, decision or noting

3.1 Development Application – Women and Babies Hospital Stage 1 Works – Lot 106 (No. 19) Jennalup Street, Murdoch (17-50197-1)

12 - 58

Attending Officers: Ben Hesketh - A/ Planning Director, Metro Central, Catherine Beamish - Senior Planning Officer, Metro Central South and Carmel Van Ruth - Principal Associate, Strategy & Projects

The development application proposes Stage 1 works for the new Women and Babies Hospital (WBH) at the Fiona Stanely Hospital precinct in Murdoch. The works comprise site clearance, piling, and construction of the ground floor slab, loading dock and vertical cores (approx. 65 metres high).

The development requires approval solely under the Metropolitan Region Scheme (MRS) by the Western Australian Planning Commission (WAPC), as it constitutes a public work that is of State significance and is located on land reserved for Public Purposes – Hospital. Accordingly, the application is presented to the Statutory

Planning Committee for determination.

The key considerations identified in assessing this proposal are:

- the proposed building footprint and its relationship to the WAPC's future consideration of the Stage 2 development application for the overall WBH building; and
- bushfire risk.

It is recommended that the application be approved, subject to conditions.

4. **Confidential items for discussion, decision or noting**
5. **Urgent or other business**
6. **Meeting conclusion and closure**

Information for SPC Members

Quorum: 5 of 9 members

	Ms Emma COLE <i>WAPC Chairperson</i>		Mr Ray Haeren <i>WAPC Deputy Chairperson</i>
	Ms Megan ADAIR <i>WAPC Board Member</i>		Ms Helen BROOKES <i>WAPC Board Member</i>
	Ms Claire FRANKLIN <i>SPC Member</i>		Mr Chris HARMAN <i>SPC Member</i>
	Cr Caroline KNIGHT <i>SPC Member</i>		Mr Paul LAKEY <i>WAPC Board Member</i>
	Ms Rebecca MOORE <i>SPC Member</i>		

The Western Australian Planning Commission (WAPC) is established under the *Planning and Development Act 2005* to provide independent advice to the Government on integrated land use planning and development, and to facilitate the preparation, implementation and delivery of state planning policies, strategies and plans through its functions and statutory decisions. Schedule 2 of the Act provides for the WAPC to establish committees to support it in delivering its functions and prescribes the establishment of a Statutory Planning Committee (SPC).

The SPC has been established to support the WAPC in undertaking its statutory planning functions including exercising powers to make any decisions the WAPC may delegate to the Committee. Its purpose is to develop and apply statutory planning frameworks which deliver the WAPC's strategic direction, policies and plans.

The key objectives of the SPC are to:

1. Support the WAPC to undertake its statutory planning functions including but not limited those related to:
 - 1.1. The maintenance of and minor amendments to region planning schemes where consistent with applicable strategic planning framework.
 - 1.2. The preparation, review, maintenance and amendment of local planning schemes (including any development contribution provisions these may entail). The preparation, review, maintenance and

amendment of local planning schemes (including any development contribution provisions these may entail).

- 1.3. The determination of local planning strategies, local structure plans (standard and precinct), local development plans and local planning policies where these require the approval of the WAPC.
- 1.4. The determination of applications for subdivision (including strata subdivision)
- 1.5. The determination of applications for approval of leases and licenses
- 1.6. The determination of applications for the use and development of land where this requires the approval of the WAPC excluding proposals:
 - made under Part 17 of the *Planning and Development Act 2005*.
 - that are mandatory significant developments for the purposes of section 171L(2) of the *Planning and Development Act 2005*;
 - subject to a section 171M Premier Authorisation under the *Planning and Development Act 2005*;
 - critical to major State priority projects such as significant renewable energy facilities, the Future of Fremantle; and
 - classified as 'State significant' under the Governments Lead Agency Framework.
- 1.7. Approval of management plans and arrangements and condition compliance in relation to the above.
- 1.8. Enforcement activities in relation to the above.
2. Provide advice, make recommendations and determine applications in accordance with authority delegated to it.
3. Provide advice to the WAPC on the effective and efficient delivery of statutory planning functions.
4. Provide advice to local government and other government agencies and bodies on statutory planning matters.

Part 11B of the *Planning and Development Act 2005* permanently established the WAPC as the decision-making authority for prescribed significant development proposals. Prescribed significant development proposals are specified in regulation 5 of the Planning and Development (Significant Development) Regulations 2024 as being development valued at \$20 million or more for land in the Metropolitan or Peel Region Scheme or the Swan Valley Planning Scheme areas; and \$5 million or more for land in other parts of the state. Other projects may be authorised for determination under Part 11B by the Premier, on the advice of the Minister. There are presently no criteria for mandatory significant development proposals.

In accordance with Section 171P of the *Planning and Development Act 2005*, the WAPC must determine Part 11B applications in accordance with the provisions of the 'applicable planning instrument'. The WAPC may determine significant development applications that conflict with provisions of the applicable planning instrument in some circumstances, as set out in Section 171R(1) of the *Planning and Development Act 2005*. These considerations are in addition to any discretion or variation clauses in the applicable planning instrument.

The WAPC as the planning authority for applications submitted under Part 11B and the WAPC has delegated the function to the SPC.

Membership:

The composition of the Statutory Planning Committee is in accordance with Schedule 2(4) of the *Planning and Development Act 2005*.

4. Statutory Planning Committee

- (1) The Commission is to establish a committee to be known as the Statutory Planning Committee.
- (2) The Statutory Planning Committee is to consist of the following persons —
 - (a) 2 or more members of the board appointed by the Commission;
 - (b) 1 or more persons appointed by the Commission with the approval of the Minister —
 - (i) who are not members of the board; and
 - (ii) who have knowledge, expertise and experience in the field of urban and regional planning;
 - (c) 1 or more persons, not being members of the board, appointed by the Commission with the approval of the Minister to represent the interests of local governments;
 - (d) any 1 or more other persons, not being members of the board, appointed by the Commission with the approval of the Minister.

Committee:

Statutory Planning Committee

Meeting Date:

Thursday, October 16, 2025

Deputation Information

Type of Deputation:

Verbal Deputation

Agenda Item:

3.1

Agenda Title:Development Application – Women and Babies
Hospital Stage 1 Works – Lot 106 (No. 19) Jennalup
Street, Murdoch**Is the presentation in support or
against the report recommendation?
(contained within the agenda)**

Against

Presenter Information

Name of Presenter

Kate Bainbridge

Organisation:

City of Melville

Email Address:**Mobile Number:****Special Requirements: In the interest
of accessibility and inclusion for
people with disabilities, please
identify if you have any special
requirements:**

No

Presentation Information

Brief Outline of Deputation:

City of Melville key concerns.

No

**Will there be a PowerPoint
Presentation?**

City of Melville Statutory Planning C... .docx

Please attach any documents here

Acknowledgements

In submitting this request, you acknowledge that your request form and presentation content will be published to the Planning Online website as part of the agenda.

Yes

I acknowledge that if my request or accompanying documents are not submitted within the required timeframe, they will not be accepted.

Yes

Please attach all accompanying documents to this request. Late submissions will not be accepted. Handouts or PowerPoints will not be accepted on the day of the meeting.

City of Melville Statutory Planning Committee Deputation – Murdoch Women and Babies Hospital

Key Concerns:

Orderly and Proper Planning:

- Uncertainties remain regarding alignment with the planning framework.
- Namely that approval of the forward works predicates an outcome which may not be appropriate for the context and result in adverse impacts on the amenity of the locality.
- There is preference for this to be dealt with at the planning stage holistically. The City is happy to work with the applicants to ensure clearances of conditions are done in as much of a timely manner as possible and for construction to be segmented out to assist with the project timeframes.
- However given risks associated having potential to impact the safety of the area and building users, we do not feel it appropriate to support the forward works development application approach.

Bushfire

- The subject site is identified as being within a bushfire prone area with the hospital being a vulnerable land use.
- It is recommended that there are no 'active' spaces within areas of the subject site that are of a higher bushfire risk given the land use is highly vulnerable.
- A bushfire management plan and bushfire emergency plan appropriate for the development should be provided that addresses the matters for vulnerable land uses listed in section 8.3(a) to 8.3(d) of State Planning Policy 3.7: Bushfire - Planning for Bushfire Guidelines.
- The requirements under the National Construction Code (NCC) will also need to be addressed for the building permit application including a fire engineer performance solution and meeting the firefighting vehicular access requirements.
- Noting that the NCC is a minimum standard, performance solutions for a vulnerable land use in a flame zone should demonstrate an as safe or safer outcome otherwise the risk is not acceptable.

Road and Traffic Safety

- Ensuring that the scale of the development and hence volume of traffic movements can be accommodated within the road network is important at early stages as this may inform the scale of the overall development appropriate and hence may impact the design.
- Traffic volumes are informed by the land use and the scale of the activity (not how much parking is provided).
- No traffic impact assessment, travel plan or parking management plan has been provided to demonstrate how traffic generation and car parking will be managed to ensure acceptable impacts on the surrounding road network and how the hospital will function with regard to existing and proposed transport options.
- The scale of the facility may need to be reduced if the anticipated volumes generated cannot be safely accommodated within the existing traffic network. This may impact on the forward works design or even the appropriateness of the facility in this location entirely.
- **U-Turn Facility** – If approved, it is essential that a U-Turn facility is provided on Murdoch Drive to prevent congestion that could increase safety risks and delays accessing the Women's and Babies Hospital.
- **Traffic and Pedestrian Safety** – If approved, the provision of a safe pedestrian crossing facilities such as a Puffin Crossing along Robin Warren Drive is needed to enable safe pedestrian crossing to and from the proposed Women's and Babies Hospital. The installation of a traffic signal with pedestrian phasing at the intersection of Robin Warren Drive and Winch Way will improve traffic and pedestrian safety.

Committee:

Statutory Planning Committee

Meeting Date:

Thursday, October 16, 2025

Deputation Information

Type of Deputation:

Verbal Deputation

Agenda Item:

3.1

Agenda Title:Development Application – Women and Babies
Hospital Stage 1 Works – Lot 106 (No. 19) Jennalup
Street, Murdoch**Is the presentation in support or
against the report recommendation?
(contained within the agenda)**

Support

Presenter Information

Name of Presenter

Rebecca Travaglione

Preferred pronouns/title

Ms

Organisation:

WA Life

Email Address:**Mobile Number:****Additional Attendees**WeBuild: Marcel
Architectus:**Special Requirements: In the interest
of accessibility and inclusion for
people with disabilities, please
identify if you have any special
requirements:**

No

Presentation Information

Brief Outline of Deputation:

Presentation in support of the Stage 1 development, addressing planning framework, bushfire strategy, design review process and City of Melville comments.

Will there be a PowerPoint Presentation?

Yes

Acknowledgements

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Yes

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Yes

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REPORT TO	Statutory Planning Committee		
Meeting date	16 October 2025	File number	17-50197-1
Title	Development Application – Women and Babies Hospital Stage 1 Works – Lot 106 (No. 19) Jennalup Street, Murdoch		
Purpose	For decision		
Head of power	Clause 48 of the <i>Metropolitan Region Scheme</i>		
Confidentiality	Non-confidential		
Name and title of responsible officer	Ben Hesketh - A/ Planning Director, Metro Central		
Date DPLH received / conformed	26 August 2025		
Processing days	51 days		
Statutory determination due date	25 October 2025		
SITE DETAILS			
Region(s)	Metro Central South		
Local government(s)	City of Melville		
Region Scheme / Zoning	Metropolitan (MRS) Public Purpose - Hospital		
Property address	Lot 106 (No. 19) Jennalup Street, Murdoch		
Site area	2.21ha		
Existing land use	At grade car park		
Landowner/s	Crown Reserve under Management Order to Department of Health		
Applicant/s	WA Life		
Local Govt recommendation	Defer		
ATTACHMENTS			
A1 – Development Plans A2 – Aerial Location Plan A3 – Zoning Plan A4 – BAL Assessment A5 – Proposed building slab overlaid on BAL Contours			

EXECUTIVE SUMMARY

The development application proposes Stage 1 works for the new Women and Babies Hospital (WBH) at the Fiona Stanley Hospital precinct in Murdoch. The works comprise site clearance, piling, and construction of the ground floor slab, loading dock and vertical cores (approx. 65 metres high).

The development requires approval solely under the Metropolitan Region Scheme (MRS) by the Western Australian Planning Commission (WAPC), as it constitutes a public work that is of State significance and is located on land reserved for Public Purposes – Hospital. Accordingly, the application is presented to the Statutory Planning Committee for determination.

The key considerations identified in assessing this proposal are:

- the proposed building footprint and its relationship to the WAPC's future consideration of the Stage 2 development application for the overall WBH building; and
- bushfire risk.

It is recommended that the application be approved, subject to conditions.

RECOMMENDATION

That the Statutory Planning Committee resolves, under clause 48 of the Metropolitan Region Scheme, to APPROVE the application for Stage 1 works for the Women and Babies Hospital at Lot 106 (No. 19) Jennalup Street, Murdoch, subject to the following conditions and advice:

CONDITIONS:

- 1. The development is to be carried out generally in accordance with the approved plans and documents date-stamped 26 August 2025 attached to this approval, subject to any modifications as required by the conditions of approval.***
- 2. This decision constitutes development approval only and is valid for a period of four years from the date of approval. If the subject development is not substantially commenced within the specified period, the approval shall lapse and be of no further effect.***
- 3. Prior to the commencement of development, a Tree Protection Plan is to be submitted to the satisfaction of the Western Australian Planning Commission on the advice of the City of Melville and thereafter implemented during construction works.***
- 4. Prior to commencement of development, a Construction Management Plan is to be submitted to the satisfaction of the Western Australian Planning Commission on the advice of the City of Melville and thereafter implemented during construction works.***
- 5. All stormwater is to be retained on site to the satisfaction of the Western Australian Planning Commission on the advice of the City of Melville.***

ADVICE:

- 1. The Western Australian Planning Commission's approval of Stage 1 works for the Women and Babies Hospital should not be construed as its support for any element of the intended Stage 2 works, which will require future consideration.***
- 2. If there are any inconsistencies between this Stage 1 approval, and the subsequent approval for Stage 2 works, the provisions of the subsequent Stage 2 approval will prevail.***

3. ***This is a development approval only. The applicant is advised that it is their responsibility to ensure that the proposed development complies with all other applicable legislation, local laws and/or licence/permit applications that may relate to the development.***
4. ***In regard to Condition 3, the Tree Protection Plan is to address all trees located within street verges adjacent to the site and trees within the retention basin and Moitch Park adjacent to the site. The Tree Protection Plan is also to provide details of the implementation of Tree Protection Zones.***
5. ***In regard to Condition 4, the Construction Management Plan is to address:***
 - a) ***public safety and site security;***
 - b) ***details of crane activities to ensure they are in accordance with the requirements of Jandakot Airport and the Civil Aviation Safety Authority;***
 - c) ***hours of operation;***
 - d) ***stormwater, groundwater, and sediment control;***
 - e) ***waste and material disposal;***
 - f) ***traffic management plans, including any proposed road closures, in accordance with Main Roads WA Code of Practice and AS1742;***
 - g) ***the parking arrangements for contractors and sub-contractors;***
 - h) ***on-site delivery times and access arrangements;***
 - i) ***the storage of materials and equipment on site (no storage of materials on the verge will be permitted without an approval);***
 - j) ***proposed method of dealing with concerns raised by the affected adjoining neighbours and members of the public during the construction process; and***
 - k) ***any other matters likely to impact upon the surrounding properties or road reserve.***
6. ***ATCO Gas advises that the proposed development falls within the trigger distance of a high pressure gas pipeline and may require further consultation with ATCO Gas. The proposed development may require additional safety measures to be considered, identified and put in place.***

All works occurring within 15 metres of critical asset infrastructure must:

- ***undergo ATCO engineering assessment to determine if additional safety measures are required. Risk mitigation and asset protection measures may be necessary. Notification for the works must be submitted to ATCO via the online web portal; and***
- ***comply with the ATCO document Additional Information for Working Around Gas Infrastructure - AGA-O&M-PR24 <https://www.atco.com/en-au/for-home/natural-gas/wa-gas-network/working-around-gas.html>***

Anyone proposing to carry out construction or excavation works must contact 'Before You Dig Australia' (www.byda.com.au) to determine the location of buried gas infrastructure.

7. ***Temporary structures such as prefabricated or demountable offices, portable toilets and skip bins necessary to facilitate storage, administration and construction activities are permitted to be installed within the property boundaries of the subject site(s) for the duration of the construction period. These structures are to be located so not to obstruct vehicle sight lines of the subject site, the adjacent road network or of adjoining properties and are to be removed prior to occupation of the development.***
8. ***A Bushfire Management Plan is required to be submitted with the Stage 2 application.***

PROPOSAL DETAILS

The City of Melville (the City) has forwarded a development application on behalf of WA Life for Stage 1 works for the new Women and Babies Hospital (WBH) to be constructed at Lot 106 (No. 19) Jennalup Street, Murdoch (the site) (**A1**).

The WBH project will deliver the main WBH building south of the existing Fiona Stanley Hospital and two multi-storey car parks for staff and visitors. The development application for the first car park, known as the Western Car Park, was approved by the Statutory Planning Committee on 10 September 2025 (item 3.3). A development application for the Eastern Carpark is expected to be lodged in the near future.

The WBH is planned to become operational in 2029. To meet this timeline and enable works to commence as soon as possible, the proponent will be lodging the development applications in two stages.

The subject application pertains to Stage 1 works, being mainly the structural and foundation elements for the future hospital, and comprises:

- ground floor slab, which will establish the future building envelope at ground level;
- associated retaining walls to manage changes in level;
- five vertical cores approximately 65 metres in height, which will accommodate future lifts and staircases and establish the height of the future building;
- underground piling structures and pile caps; and
- loading dock structure at Level 1, located at the western edge of the building, which ramps up above the plant area below (**A1**).

Stage 2 works associated with the WBH, relating to the overall WBH building, are expected to be lodged in the near future.

BACKGROUND

The site forms part of the Fiona Stanley Hospital precinct and currently comprises a 620 bay at grade staff car park, as shown in Figure 1 below.



Figure 1: Subject Site

The site is bound by Moitch Park to the west, which is a retained area of bushland; Jennaup Street to the south; Fiona Wood Road to the east; and Robin Warren Drive to the north (**A2**). An existing landscaped drainage retention basin is located to the immediate north-west of the site. A South Metropolitan TAFE campus is located to the south of Jennaup Street, and Fiona Stanley Hospital is located to the north of Robin Warren Drive. An existing early learning centre is located within the southern portion of the site, which is proposed to remain.

The site is located approximately 600 metres south of the Murdoch Train Station and is serviced by multiple bus services via a bus stop on the Fiona Wood Drive frontage.

The site is reserved under the Metropolitan Region Scheme (MRS) for Public Purpose – Hospital (**A3**) and is therefore not subject to the City of Melville Local Planning Scheme No. 6. The site is within the Murdoch Specialised Activity Centre, which is subject to the Murdoch Specialised Activity Centre Structure Plan (MSACSP), approved by the WAPC in 2014. The MSACSP was prepared by the WAPC to guide the strategic development of the centre. The site is situated within the Murdoch Health precinct of the MSACSP, the key objective of which is to accommodate health services and associated parking.

The development requires approval solely from the WAPC under the MRS, as the WAPC has not delegated its powers in respect to applications for public works that are of State significance.

Consultation

The City of Melville (City) does not support the application and recommends it be deferred to address outstanding bushfire issues, further design review of the project and the management of traffic and parking related to the main hospital development. In regard to bushfire issues, the City has recommended that no habitable spaces be located with the areas of higher bushfire risk and note that

a BMP should be provided for the Stage 2 development application. The City also raised a specific concern in relation to vehicle access for firefighter equipment. The City's comments are addressed in the Planning Assessment section below. The City has provided recommended conditions should the proposal be approved.

The Department of Fire and Emergency Services (DFES) was referred the application as the site is partially bushfire prone and involves a future vulnerable land use. DFES supports the proposal subject to a Bushfire Management Plan being prepared as a condition of approval. DFES' comments are addressed in the Planning Assessment section below.

The Department of Biodiversity Conservation and Attractions was referred the application due to the presence of priority ecological communities within the Moitch Park bushland and has no comment on the application.

ATCO Gas Australia was referred the application due to the presence of a nearby high-pressure gas pipeline and has no objection to the application subject to standard advice.

The application was not referred to the Department of Transport and Major Infrastructure or Main Roads Western Australia as the Stage 1 works do not include any traffic generating activities or parking bays other than for construction related activities. Traffic generation and road network capacity will be considered through the Stage 2 application, once the volume of traffic generation, internal road designs and crossover locations have been finalised.

Framework and Policy Assessment Overview

Legislation, Policies and Framework	Consistency
Metropolitan Region Scheme	Fully consistent
Murdoch Specialised Activity Centre Structure Plan	Broadly consistent, some discretion required
State Planning Policy 7.0 - Design of the Built Environment	Fully consistent
State Planning Policy 4.2 - Activity Centres	Fully consistent
State Planning Policy 3.7 - Bushfire	Broadly consistent, some discretion required

DISCUSSION

Metropolitan Region Scheme

Clause 43 of the MRS requires the WAPC to have regard to a wide range of matters when determining an application for development approval if, and to the extent, they are of State or regional importance. The proposal has been assessed against the relevant matters, including the requirements of orderly and proper planning, relevant State Planning Policies, WAPC policy or strategy, the purpose for which the land is reserved, compatibility of development with its setting, cultural significance, effect on the natural environment, bushfire risk, preservation of amenity, relationship to development of adjoining land, considerations of access, traffic and transport, preservation of vegetation, consultation with other authorities and the recommendation of the City.

The Stage 1 works are wholly consistent with the intent of the Public Purposes – Hospital reservation under the MRS, being works associated with the delivery of a hospital, and will support the timely delivery of critical health infrastructure.

Bushfire Risk

2 application to demonstrate compliance with SPP 3.7. It is not reasonable to require the preparation of a BMP at this stage for the following reasons:

- the proposed Stage 1 works do not trigger the need for a BMP under SPP 3.7; and
- the inputs required to prepare a complete BMP (e.g. landscape, access etc) are not yet available, as the main WBH building is still undergoing design review.

As the Stage 1 works do set out the footprint of the building, the applicant's bushfire consultant has confirmed that the Stage 2 application will comply with SPP 3.7 and noted that:

- the habitable portions of the hospital building will be located in areas subject to BAL ratings $\leq$ BAL-29;
- an Asset Protection Zone can be established between the building and adjacent bushfire hazards;
- native vegetation is not proposed to be cleared to facilitate bushfire management outcomes;
- a Landscape Management Plan will be prepared for the development, outlining low threat vegetation management throughout the site;
- Hazardous, flammable and/or combustible materials will be stored within areas subject to BAL ratings $\leq$ BAL-29;
- access routes to multiple suitable destinations is possible;
- no no-through roads, emergency access ways, perimeter roads or fire service access routes are proposed;
- internal vehicle access routes will be designed to comply with the requirements in the Planning for Bushfire Guidelines;
- signage can be provided outlining where each access route travels to and what to do in the event of a bushfire; and
- the hospital will be connected to a reticulated water supply.

The above will be fully documented in the BMP supporting the Stage 2 application.

Additional bushfire construction requirements for certain Class 9 buildings, including hospital buildings located in areas designated as bushfire prone on the *Map of Bush Fire Prone Areas*, were included in the 2022 edition of the NCC, which became mandatory in Western Australia for building permit applications submitted from 1 May 2025.

These new provisions provide deemed to satisfy bushfire construction requirements for Class 9 buildings rated BAL-LOW or BAL-12.5, however, there are no deemed-to-satisfy provisions for development in BAL-29 or above, and as such compliance would need to be considered under a building performance solution, which would include complex building engineering solutions.

The applicant's bushfire consultant and fire engineer have also confirmed the Stage 2 application will comply with NCC 2022 requirements (as requested by DFES) and noted that:

- The ground floor plantroom is subject to BAL-FZ due to proximity to Moitch Park.
- Figure 3 below shows a section through Moitch Park and the building, highlighting that the ground floor will be semi-embedded below ground via a retaining wall. The design of the WBH building will incorporate a fire rated wall to the west elevation, and the ground floor plantroom will be fire separated from the remaining areas of the building. The fire rated separation between the ground floor plantroom and the bushfire prone vegetation will be designed to mitigate bushfire exposure to the ground floor internal areas and therefore limit the potential for fire spread to the building.
- A Fire Engineered Performance Solution will be developed as part of the building permit process to assess the building subject to $>$ BAL-12.5, and to demonstrate compliance with Performance Requirement G5P1 (bushfire resistance) and G5P2 (additional bushfire requirements for certain Class 9 buildings).

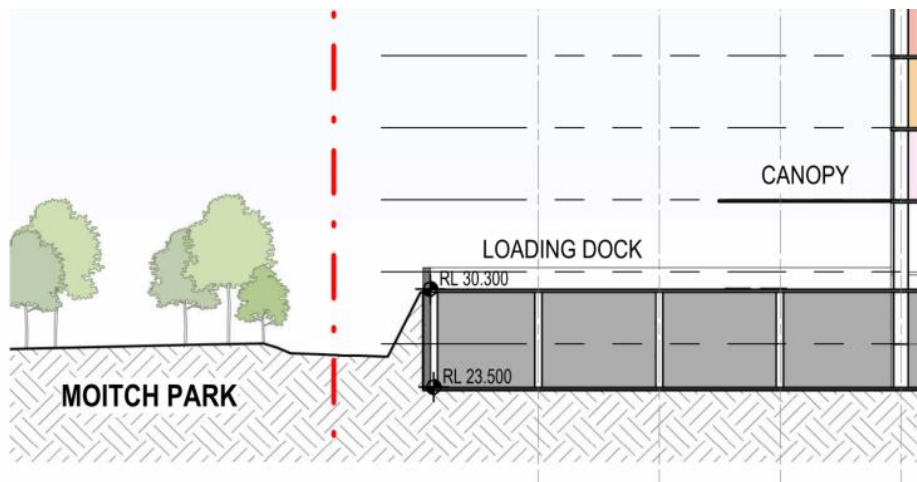


Figure 3: Moitch Park interface with Loading Dock and Plant Area below

Bushfire Risk Summary

SPP 3.7 does not apply to Stage 1 works as no habitable spaces are proposed. The WBH building will consist of habitable spaces which will be located in BAL-19 or below. Only plant and the loading dock, being approved as part of this application will be located in BAL-FZ and BAL-40 areas, and these will be fire separated from the main building.

The applicant's bushfire consultant and fire engineer have advised that all other requirements of the bushfire guidelines (access, water supply etc), as well those of the NCC 2022 for vulnerable buildings are able to be met. A full BMP will be provided to support Stage 2 works and provide further details to demonstrate this compliance. This will address the concerns raised by DFES and the City.

In addition, while not a consideration of SPP 3.7, Murdoch Fire Station is located approximately 300 metres to the west of the site.

Design

Murdoch Specialised Activity Centre Structure Plan (MSACSP)

The site is within the Murdoch Health precinct under the MSACSP. The Urban Corridor built form guidelines are applicable to the subject site, which set out the following requirements:

- building heights generally of three–six storeys (with up to 10 storeys in landmark locations, as determined by the responsible authority);
- site coverage of 80-100%; and
- setbacks up to two metres, with upper storeys up to five metres.

The desired precinct character for Murdoch Health is described as “dense urban campus with large building forms, occupying full blocks with horizontal forms and occasional landmark structures”. The key objectives for this precinct include:

- the predominant activity of health services, and an intent to densify with infill development in the precinct over time; and
- acknowledging surface car parks provide opportunities to redress spatial dislocation of activity and urban form.

Design / Building Footprint

The siting of the building footprint has been determined by the surrounding context and site constraints, noting the following:

- The main building envelope for the future hospital (excluding plant and loading dock) is set back approximately 40 metres from the western boundary (to Moitch Park) as part of the bushfire response.
- Back of house areas, loading bays and service areas are located adjacent to Moitch Park, as part of the bushfire site planning response.
- The building envelope is set back approximately 20 metres from the southern boundary, to provide separation from the existing building to be retained on site.
- The building envelope is set back between 2.6 metres to 19 metres from Fiona Wood Drive and 15 metres from Robin Warren Drive in the north due to irregular lot boundary dimensions. These locations will contain drop off areas and landscaping to address the streetscape.

Importantly, the vertical cores have been centralised within the building envelope to enable maximum flexibility for the final design of the WBH and connection to infrastructure such as water, sewer and power is not proposed as part of Stage 1 works. Accordingly, there remains scope for changes to the design to be considered as part of the WAPC's consideration of the Stage 2 application.

The proposed building footprint aligns with the objectives of the MSACSP regarding site coverage and setbacks. The proposal will facilitate a building of around 12 storeys (based on the vertical core height of 65 metres). Given the strategic importance of the WBH as a State health facility, the site is considered a landmark location. The proposed height is not a significant variation to the planning framework and is supported as the building is not in proximity to any existing or proposed development that would be adversely affected by the height variation. The two storey variation is minor and would not result in any discernible impact on the surrounding urban context. The subject application will not prejudice the ability of the Stage 2 DA to generally comply with the requirements of the planning framework.

State Planning Policy 7.0 – Design of the Built Environment

State Planning Policy 7.0 – Design of the Built Environment (SPP 7.0) is the overarching framework guiding the delivery of good design for the WBH project. SPP 7.0 emphasises the importance of independent and impartial design review in delivering informed opinions and guidance on the interpretation and application of design elements and principles. This is particularly relevant to the WBH project, given the complexity of the project and need to balance operational requirements with the delivery of good design.

The WBH project was presented to the State Design Review Panel (SDRP) on 19 August 2025, with a second session on 7 October 2025. A third session is scheduled to be held on 18 November 2025, prior to the determination of the Stage 2 application.

In addition to the formal SDRP process, fortnightly engagement with representatives of the Government Architect of Western Australia has occurred to provide input into the design principles, spatial considerations and response to context since 3 July 2025 and remain ongoing.

The SDRP has reviewed the WBH design against the principles of SPP 7.0 and is supportive of the built form and location of vertical cores in the Stage 1 application to provide future spatial flexibility.

City of Melville Response

The City requests that the design of the WBH be further progressed to allow refinement of design matters such as street activation, connection with Moitch Park and integration with the surrounding context, before the Stage 1 application is approved. As discussed above, the Stage 1 works proposed have been designed so that they can accommodate future spatial layout changes as required. Commencement of the early works is required as soon as possible, and prior to the final design of the WBH, in order to ensure the WBH is operational in 2029.

Access, Traffic and Transport

The WBH is intended to be accessed from Fiona Wood Road. Access arrangements and parking management for the WBH project have been informed by multiple investigations and traffic assessments, including the following:

- Transport Impact Assessment – Aurecon (2023)
- Urbsol – 2023 Traffic Planning Investigation (2024)
- Office of Major Transport Infrastructure Delivery (OMTID) Road Improvement Concept
- Urbsol – Stage 1 Traffic Modelling Report (2025)
- Precinct Plan - OMTID (under development)
- Access and Parking Strategy - South Metropolitan Health Service (SMHS) (under development).

As Stage 1 works do not include any traffic generating activities or parking bays other than for construction related activities, traffic generation and road network capacity will need to be considered through the Stage 2 application, once the volume of traffic generation, internal road designs and crossover locations have been finalised. A full transport impact assessment report prepared in accordance with the WAPC Traffic Impact Assessment (TIA) Guidelines – Volume 4 will be provided as part of the Stage 2 application. Traffic and parking related to the construction works are capable of being managed through a Construction Management Plan recommended as a condition of approval.

Car parking for the WBH will be provided via the approved Western Car Park and planned Eastern Car Park, which are to be delivered as separate projects. As a result, the WBH site will not accommodate significant parking, with only operational vehicles (predominately ambulances, service vehicles and deliveries) and minimal short-term parking / drop-off areas on site. Further information on how the proposed WBH will be integrated into a broader Access and Parking Strategy under development by the SMHS for the wider MAC as well as a Green Travel Plan will be submitted as part of the Stage 2 application.

Temporary Parking

As the development will result in the removal of an existing at-grade carpark, the WBH project team has considered temporary parking options to offset the loss of parking bays. Two sites have been identified at Bibra Drive, North Lake and Barry Marshall Parade, Murdoch, to be used by select hospital staff. Visitors, patients and the majority of staff will continue to park at Fiona Stanley Hospital. Both temporary parking sites have received planning approval from the WAPC and are ready for use. A shuttle bus service will operate from the Bibra Drive site to support staff commuting to and from the hospital.

City of Melville Response

The City has requested that a TIA, Green Travel Plan and Parking Management Plan be provided as part of the Stage 1 application, so that it can be confirmed that the volume of traffic movements can be accommodated within the road network.

As noted above, transport investigations have been undertaken to support the delivery of the WBH, and a full TIA, Green Travel Plan and Parking Management Plan will be submitted with the Stage 2 application. The works proposed in Stage 1 do not generate any vehicle movements, other than those associated with construction.

The City also requested various road network improvements to be implemented as part of the Stage 1 works. There is no nexus between the Stage 1 works and the need for road upgrades. Accordingly,

any road upgrades required to facilitate the WBH will need to be considered through the Stage 2 application, with the benefit of all transport related modelling and information at hand.

Environment

The Stage 1 works will require the clearance of all trees within the existing car park, which were planted in approximately 2013. However, all trees within Moitch Park, the retention basin to the north-west of the site, as well as verge trees will be retained. A condition requiring a Tree Protection Plan is recommended to ensure that works will not disrupt trees within these areas adjoining the site. The Tree Protection Plan will require tree protection zones to be established on all verge trees as well as trees within the retention basin and Moitch Park which may be affected by proximity to construction works, to ensure protection throughout the construction period.

CONCLUSION

The proposed Stage 1 works for the WBH are consistent with the Public Purpose – Hospital reserve under the MRS.

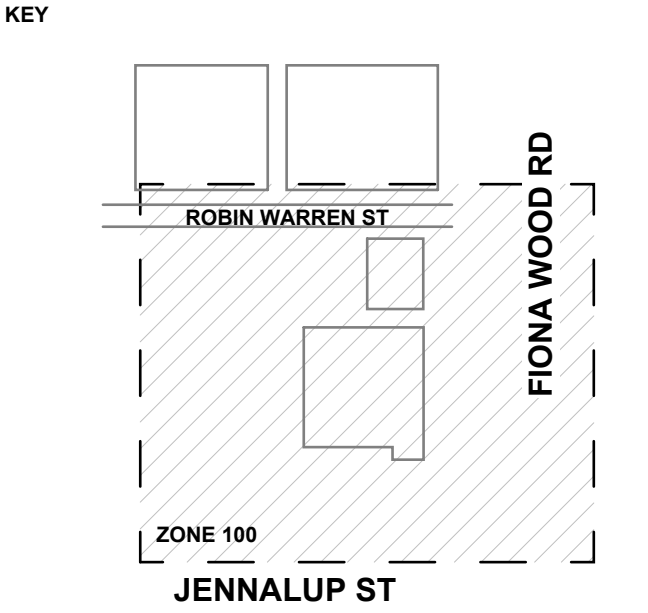
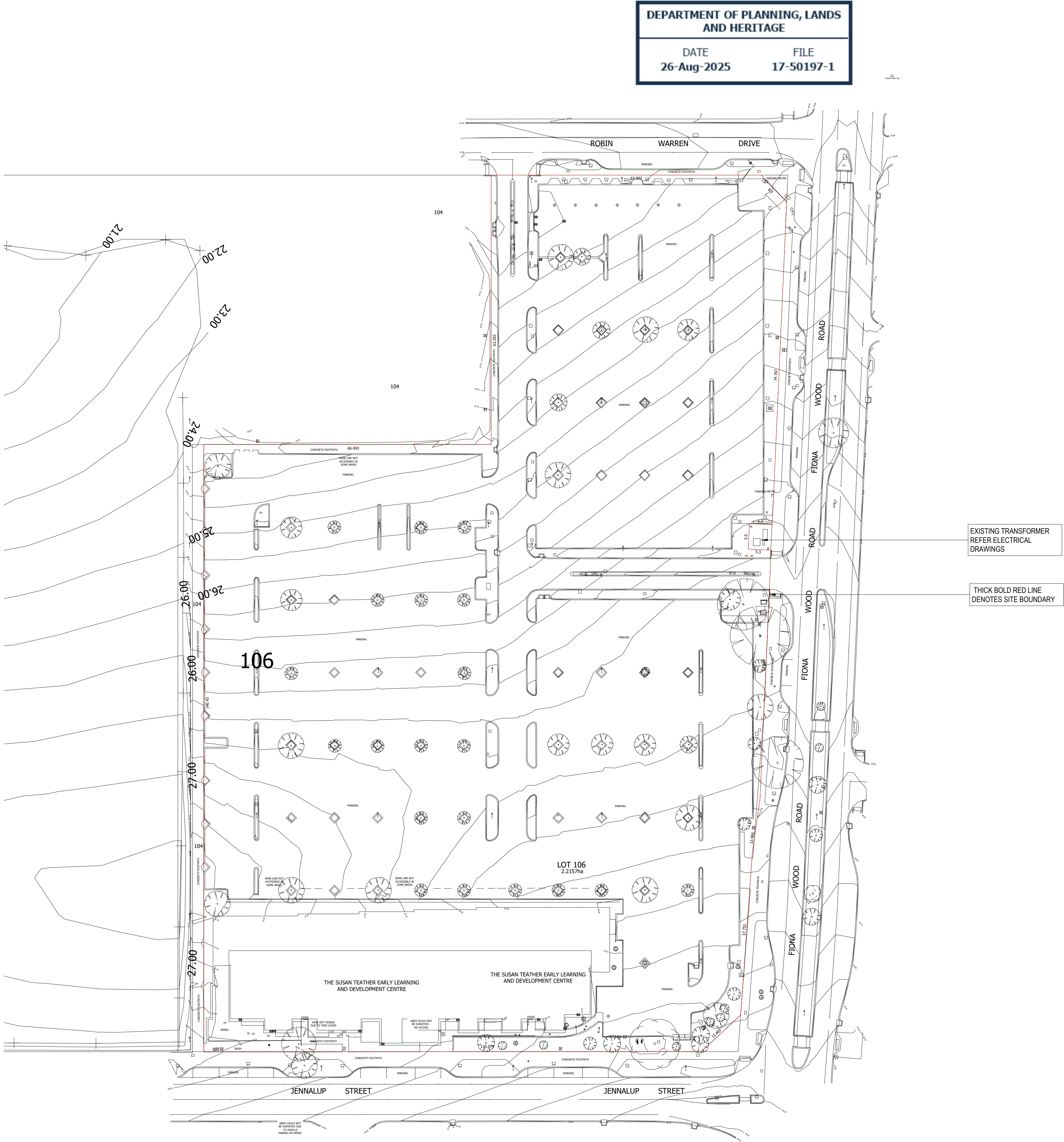
While the works will establish the ground floor footprint and the overall height of the building, no issues regarding these elements of the WBH have been identified through design review by the SDRP, and the layout of the vertical cores allows for flexibility as the design is further refined ahead of the Stage 2 application.

Matters relating to bushfire risk have been adequately addressed for the purposes of Stage 1 works and will be addressed in further detail as part of the Stage 2 application.

The Stage 1 works will not generate any traffic other than for construction related activities, however, the State has progressed a range of transport investigations and initiatives to ensure the WBH will be able to operate effectively when it is constructed, and these can be assessed and enforced through conditions of approval of Stage 2, should the WAPC approve the applications.

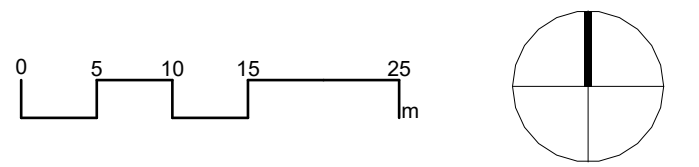
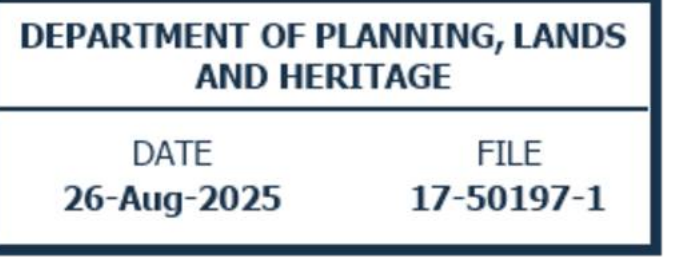
The proposal will support the timely delivery of the WBH and wholly aligns with health infrastructure strategies at a State level.

It is recommended the application be approved, subject to conditions.



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AREA SCHEDULE



Revision	Purpose of Issue	Checked	Date
A.01	ISSUE FOR (GOLD) TENDER	MH	27.06.25
A.02	ISSUE FOR TENDER	MH	20.06.25
A.03	ISSUE FOR BUILDING PERMIT	JF	08.08.25
B.00	CONCEPT DESIGN/ISSUE FOR DA	JF	20.08.25

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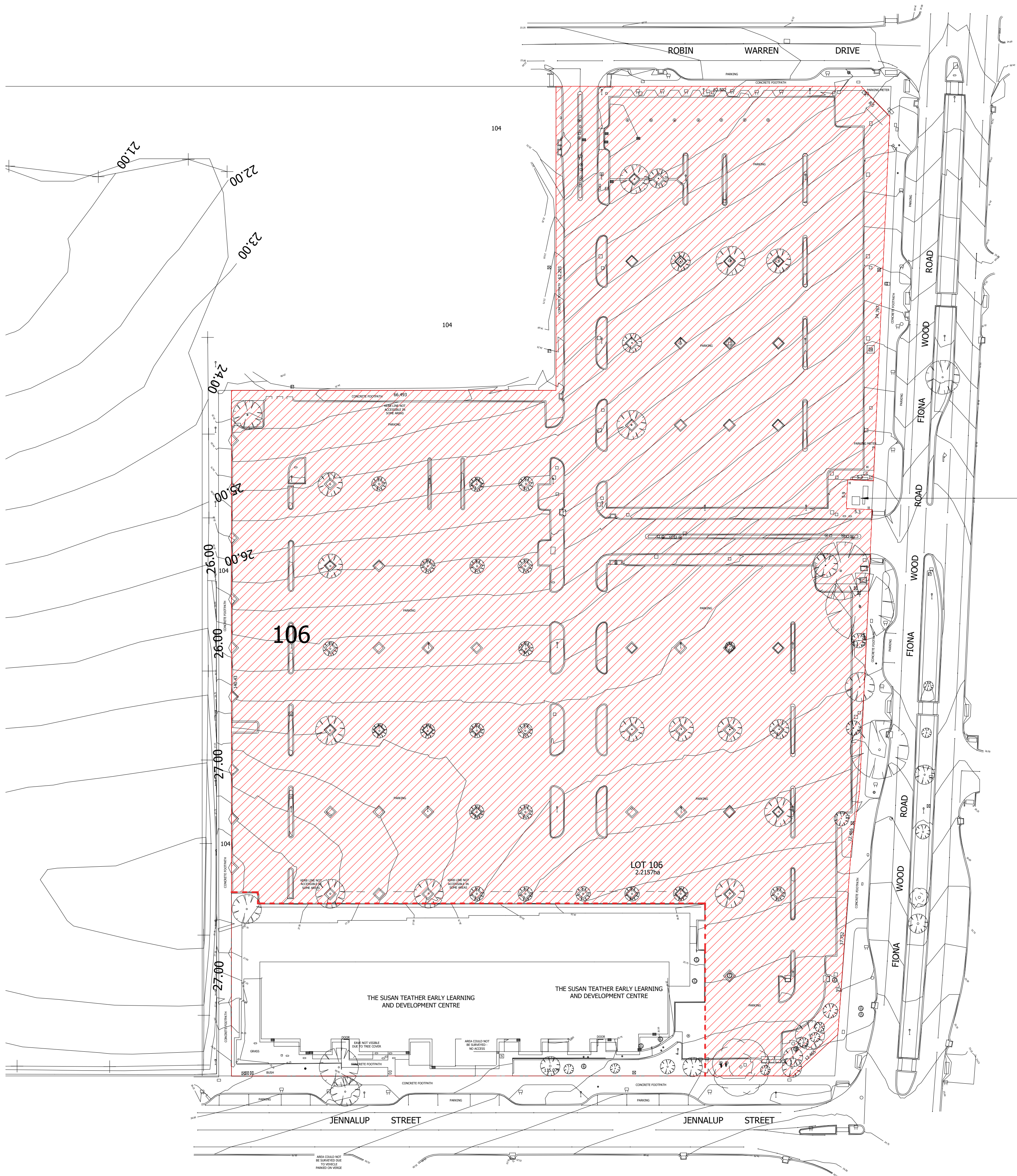
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PROJECT NEW WOMEN & BABIES HOSPITAL WBH			
DRW SERIES	LEVEL	ZONE	DESIGN PACKAGE
020		100	EARLY WORKS
DRAWING EARLY WORKS DA SITE SURVEY PLAN			

DESIGNED JF	DRAWN AK	CHECKED JF	APPROVED JG
PROJECT DESIGN STAGE CONCEPT DESIGN			ORIG. SIZE A1
COORDINATE SYSTEM PCG2020/ GDA 2020	VERTICAL DATUM AHD71	SCALE @ A1 1 : 500	
DRAWING No. NWB-ARC-WBH-AR-020-00-1000			REVISION B.00

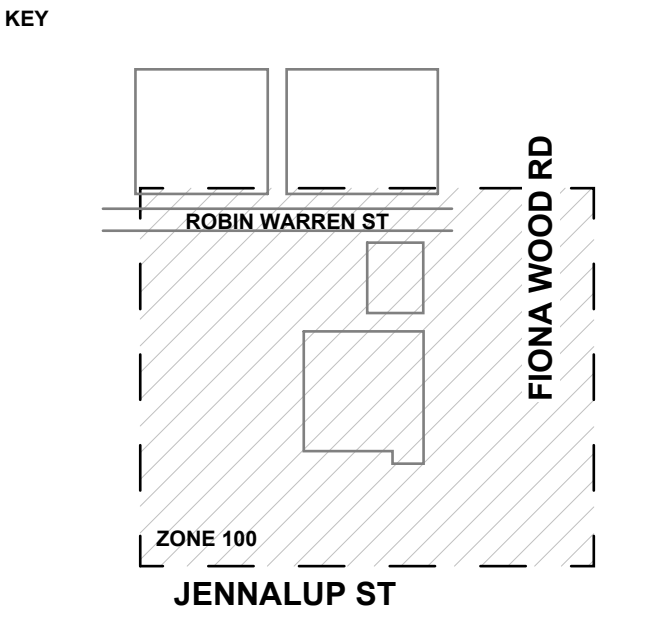
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EXISTING TRANSFORMER
REFER ELECTRICAL
DRAWINGS

- LEGEND**
- THICK BOLD RED LINE DENOTES SITE BOUNDARY
 - DEMARCATION LINE
 - HATCHED AREA DENOTES SITE EXTENTS TO BE CLEARED

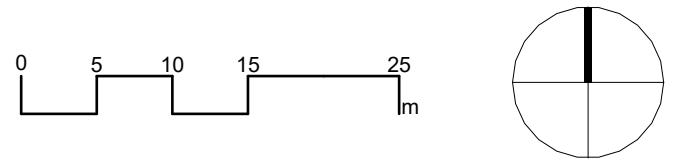
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AREA SCHEDULE

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 26-Aug-2025	FILE 17-50197-1



Revision	Purpose of Issue	Checked	Date
A.01	BRONZE ISSUE	JG	25.07.25
A.02	SILVER ISSUE	JF	07.08.25
B.00	CONCEPT DESIGN/ISSUE FOR DA	JF	20.08.25

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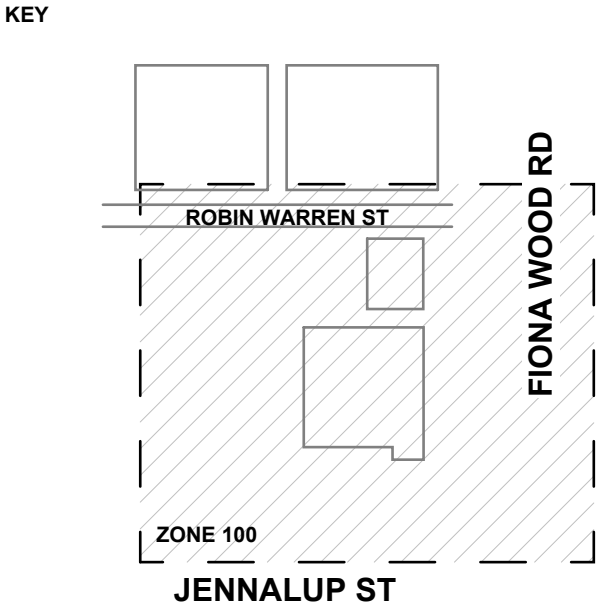
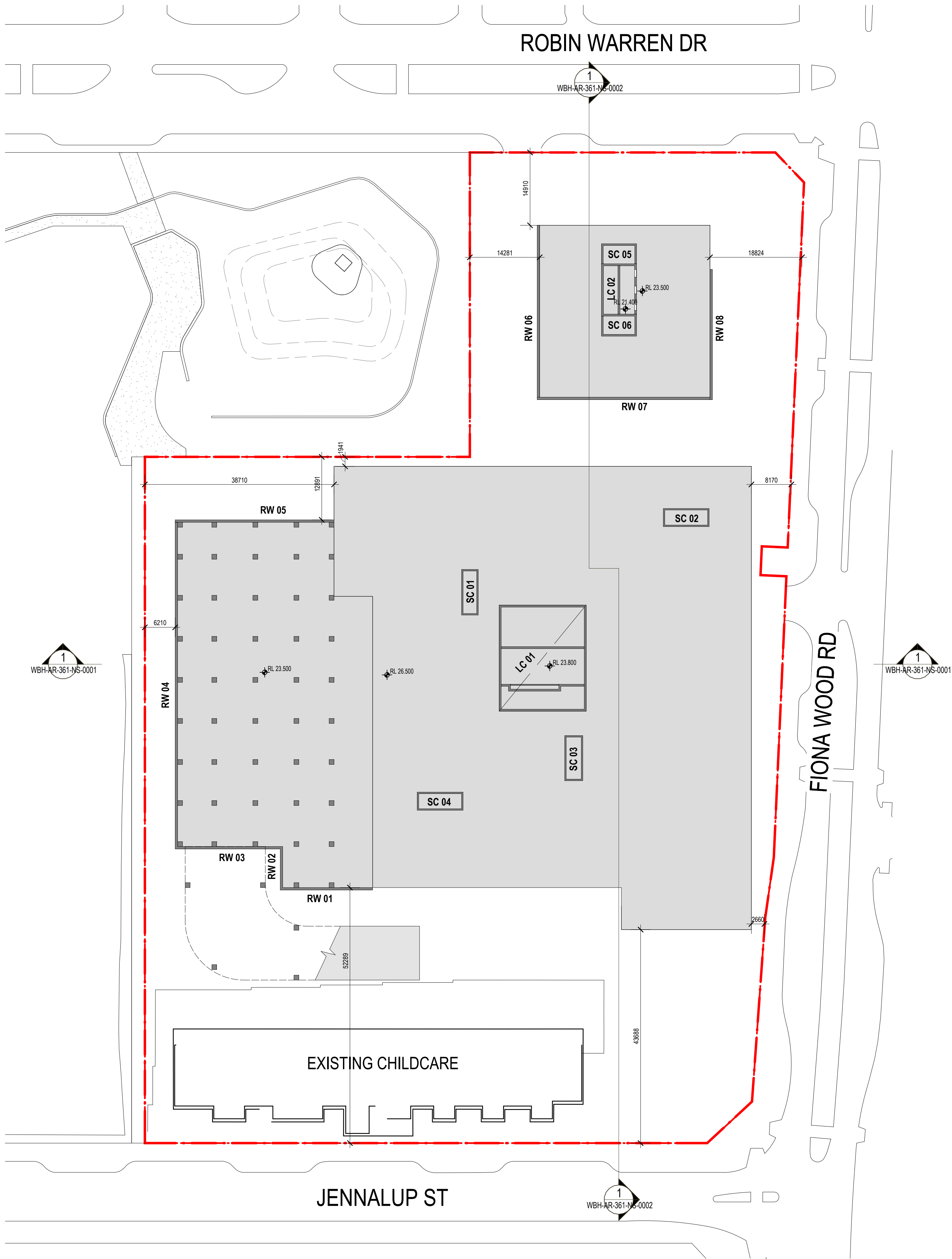
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NEW WOMEN & BABIES HOSPITAL

PROJECT NEW WOMEN & BABIES HOSPITAL WBH			
DRW SERIES 020	LEVEL 100	ZONE 100	DESIGN PACKAGE EARLY WORKS
DRAWING EARLY WORKS DA SITE SURVEY PLAN - OVERALL CLEARING			
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COORDINATE SYSTEM PCG2020/ GDA 2020		VERTICAL DATUM AHD71	SCALE @ A1 1 : 500
DRAWING No. NWB-ARC-WBH-AR-020-00-1001			REVISION B.00



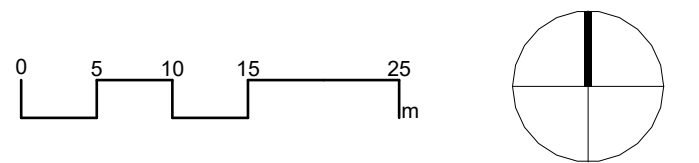
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DEPARTMENT OF PLANNING, LANDS AND HERITAGE

DATE: 26-Aug-2025 FILE: 17-50197-1

- KEY
- LC01 - LIFT CORE 01
LC02 - LIFT CORE 02
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SC02 - STAIR CORE 02
SC03 - STAIR CORE 03
SC04 - STAIR CORE 04
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RW05 - RETAINING WALL 05
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RW07 - RETAINING WALL 07
RW08 - RETAINING WALL 08



Revision	Purpose of Issue	Checked	Date
A.02	SILVER ISSUE	JF	07.08.25
A.03	SILVER ISSUE-UPDATED	JF	12.08.25
A.04	SILVER ISSUE	JF	13.08.25
A.05	SILVER ISSUE	JF	14.08.25
B.00	CONCEPT DESIGN/ISSUE FOR DA	JF	20.08.25

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DRW SERIES	LEVEL	ZONE	DESIGN PACKAGE
023	GF	100	EARLY WORKS

DRAWING
EARLY WORKS DA
GROUND LEVEL FLOOR SLAB
EXTENTS

DESIGNED JF	DRAWN OB	CHECKED JF	APPROVED JG
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PROJECT DESIGN STAGE
CONCEPT DESIGN

ORIG. SIZE
A1

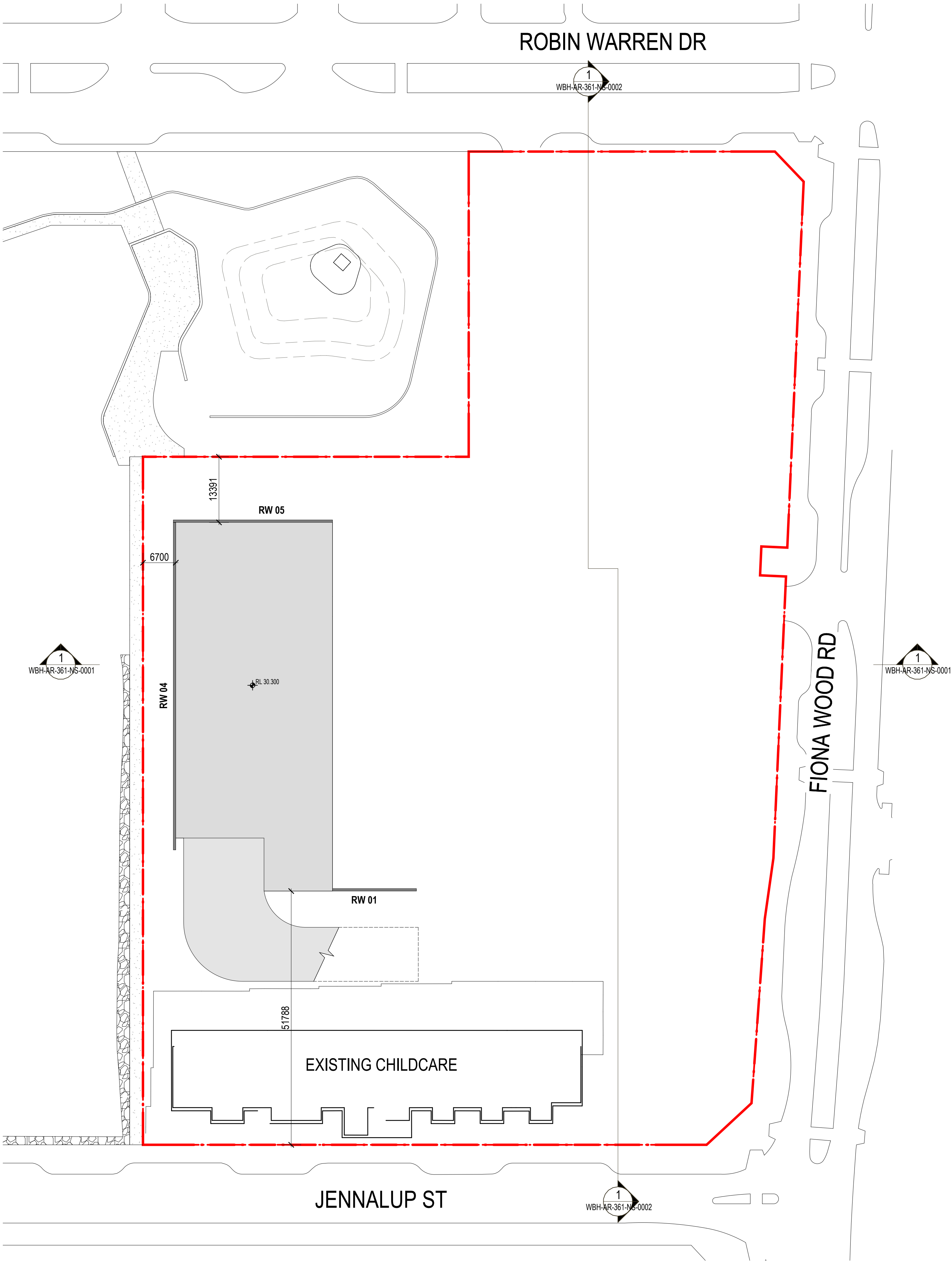
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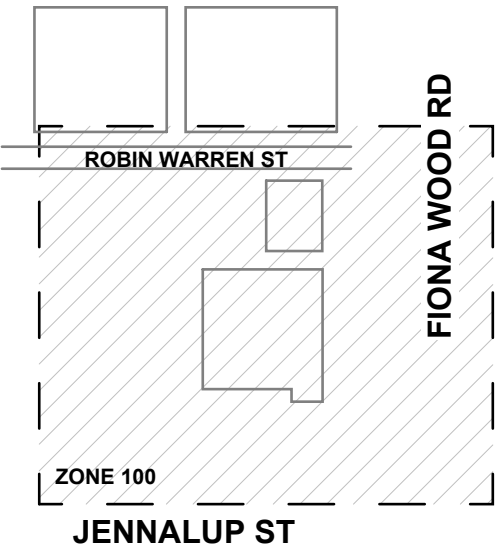
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REVISION
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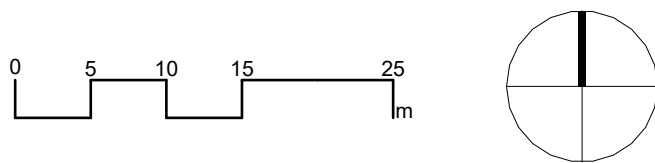
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RW08 - RETAINING WALL 08



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A.01	SILVER ISSUE-UPDATED	JF	12.08.25
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A.03	SILVER ISSUE	JF	14.08.25
B.00	CONCEPT DESIGN/ISSUE FOR DA	JF	20.08.25

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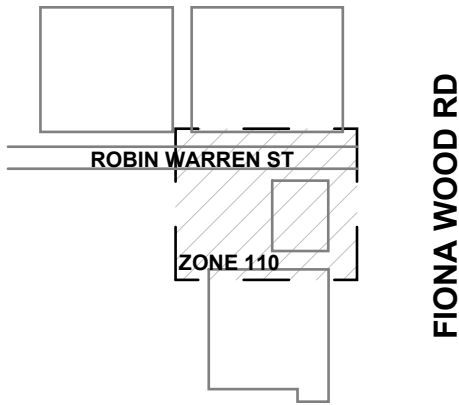
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WBH			
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LEVEL 01 SLAB EXTENTS			

DESIGNED	DRAWN	CHECKED	APPROVED
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DRAWING No.			REVISION
NWB-ARC-WBH-AR-023-01-1002			B.00

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AND HERITAGE

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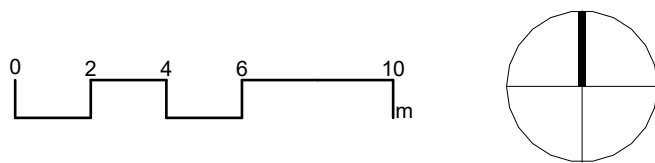
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KEY

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Revision	Purpose of Issue	Checked	Date
A.01	BRONZE ISSUE	JG	25.07.25
A.02	SILVER ISSUE	JF	07.08.25
B.00	CONCEPT DESIGN/ISSUE FOR DA	JF	20.08.25

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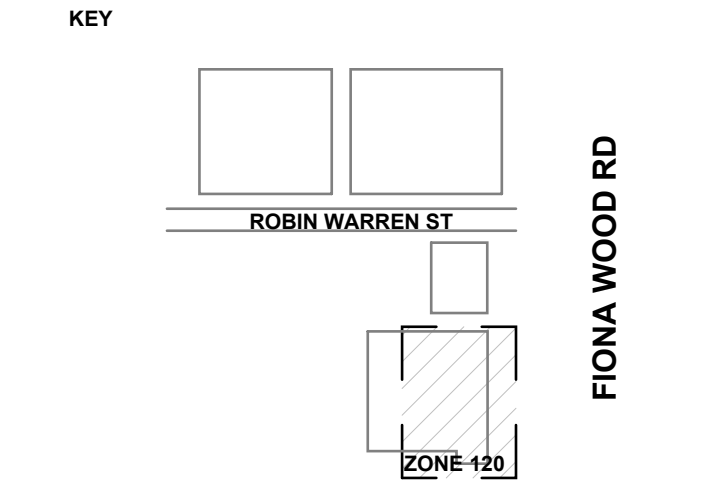
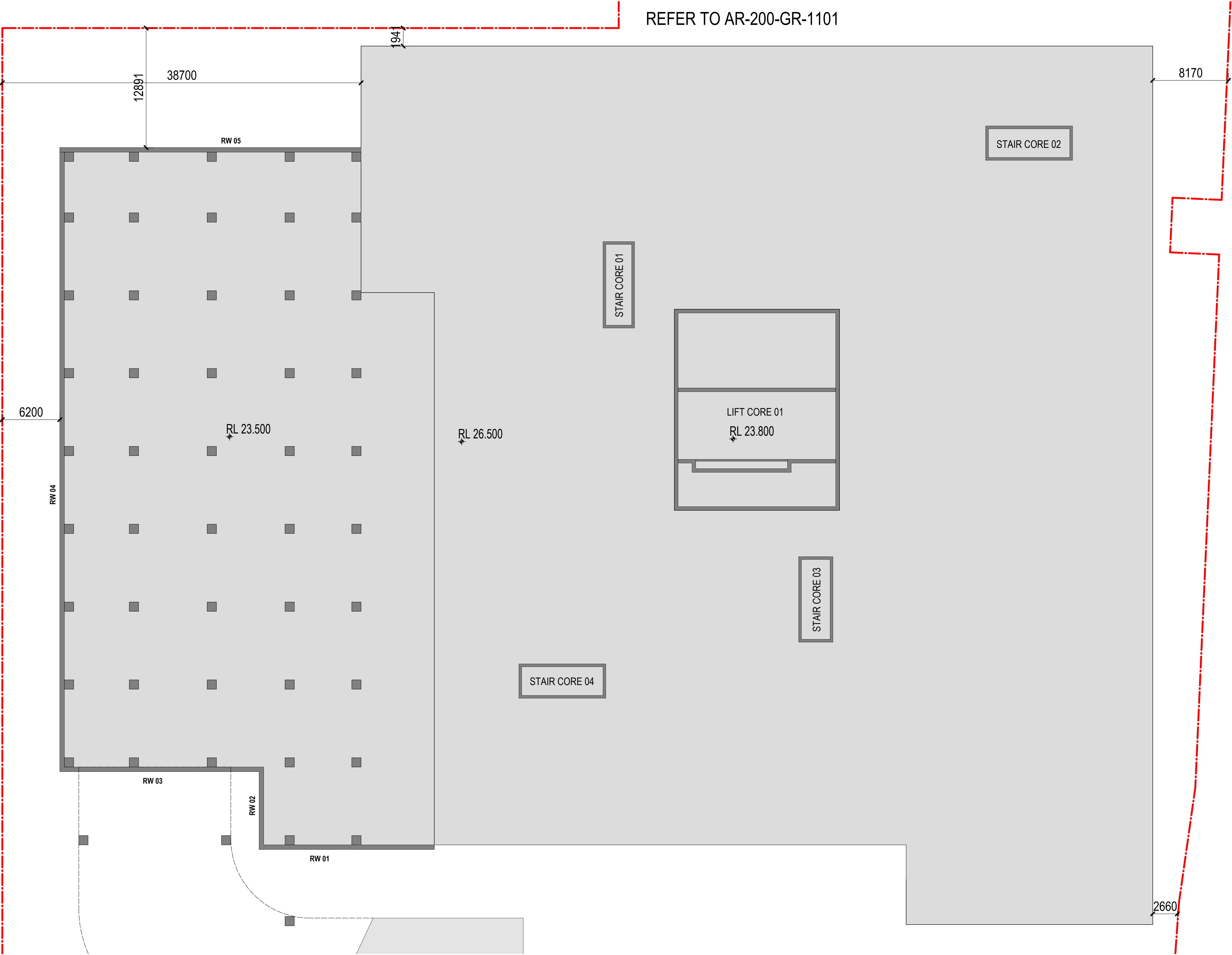
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200	GF	110	EARLY WORKS

DRAWING
EARLY WORKS DA
GROUND FLOOR PLAN PT1

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PROJECT DESIGN STAGE CONCEPT DESIGN			ORIG. SIZE A1
COORDINATE SYSTEM PCG2020/ GDA 2020		VERTICAL DATUM AHD71	SCALE @ A1 1 : 200
DRAWING No. NWB-ARC-WBH-AR-200-GR-1101			REVISION B.00

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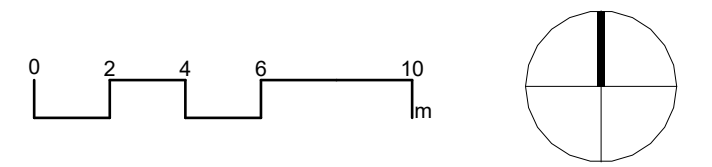
AREA SCHEDULE

DEPARTMENT OF PLANNING, LANDS AND HERITAGE

DATE
26-Aug-2025

FILE
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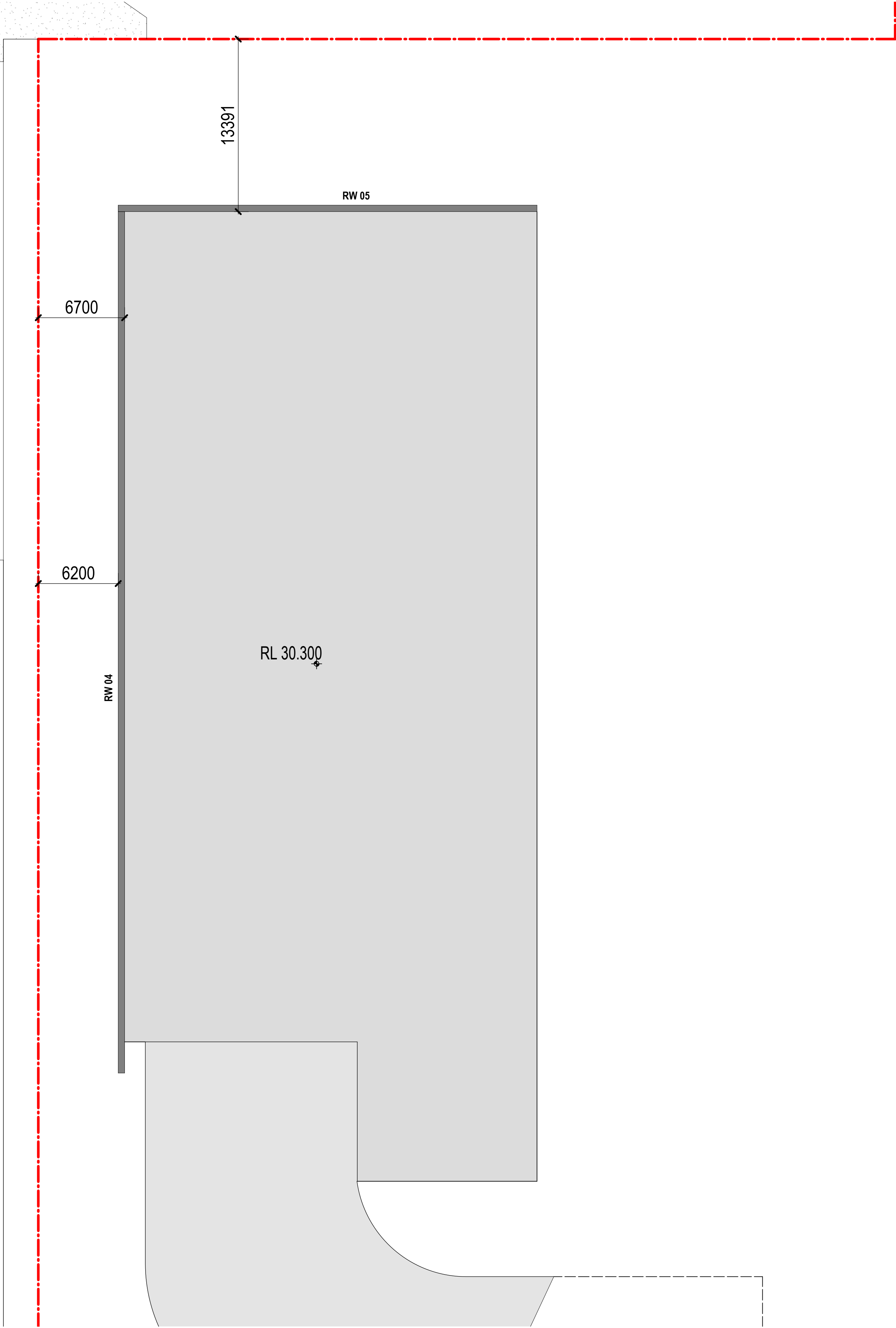
PROJECT
NEW WOMEN & BABIES HOSPITAL
WBH

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DRAWING
EARLY WORKS DA
GROUND FLOOR PLAN PT2

DESIGNED JF	DRAWN OB	CHECKED JF	APPROVED JG
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COORDINATE SYSTEM PCG2020/ GDA 2020		VERTICAL DATUM AHD71	SCALE @ A1 1 : 200
DRAWING No. NWB-ARC-WBH-AR-200-GR-1201			REVISION B.00

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ZONE 120

JENNALUP ST

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RW04 - RETAINING WALL 04

RW05 - RETAINING WALL 05

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Revision	Purpose of Issue	Checked	Date
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DRW SERIES	LEVEL	ZONE	DESIGN PACKAGE
200	L01	120	EARLY WORKS

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LEVEL 01 PLAN PT2

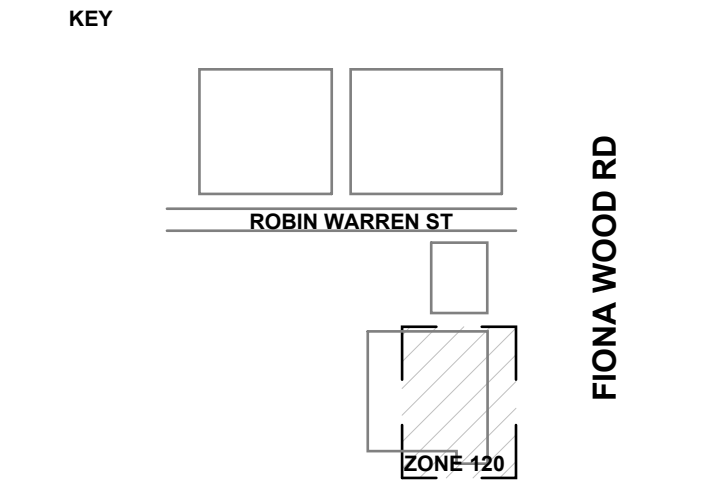
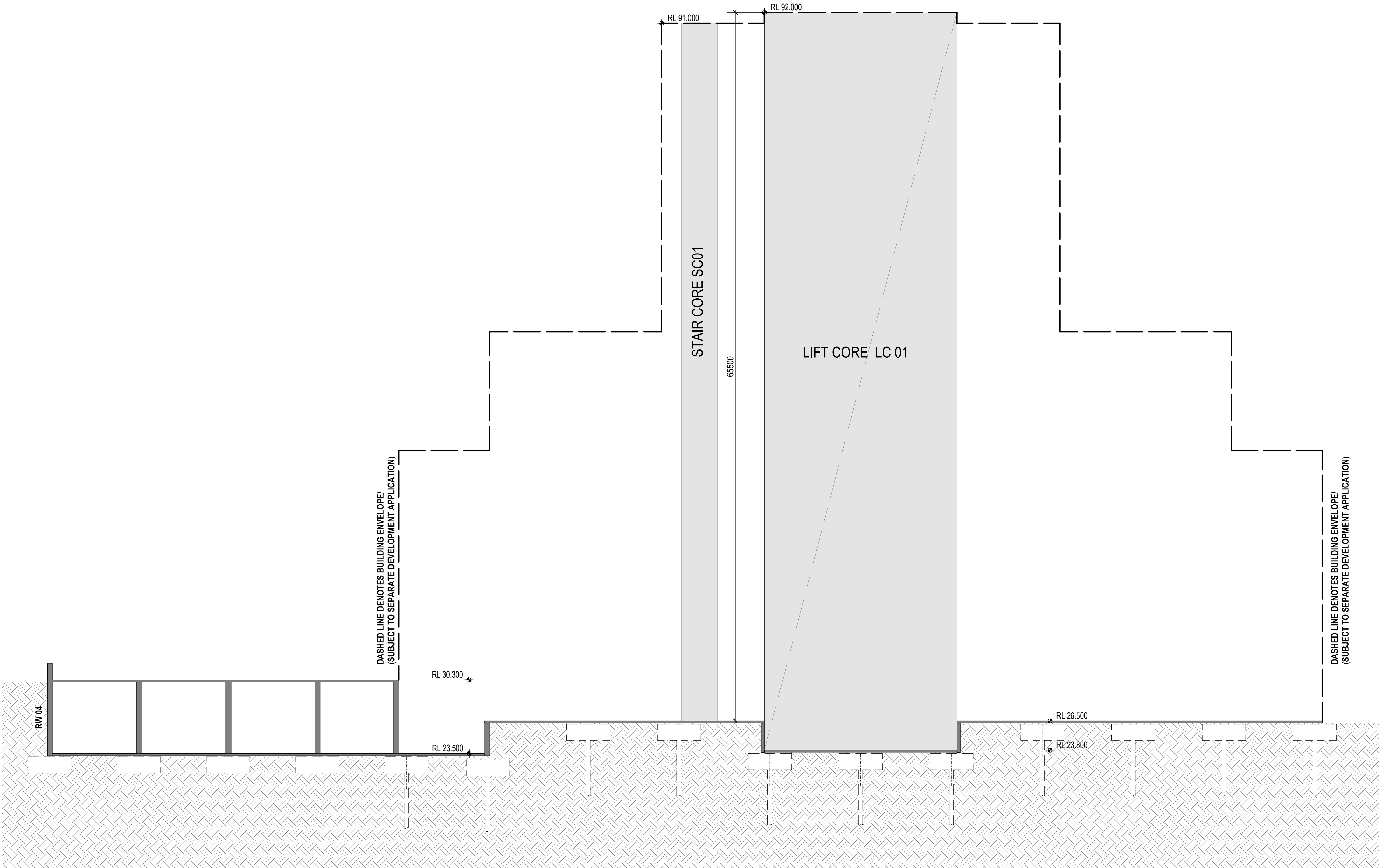
DESIGNED	DRAWN	CHECKED	APPROVED
JF	OB	JF	JG

PROJECT DESIGN STAGE	ORIG. SIZE
CONCEPT DESIGN	A1

COORDINATE SYSTEM	VERTICAL DATUM	SCALE @ A1
PCG2020/ GDA 2020	AHD71	1 : 200

DRAWING No.	REVISION
NWB-ARC-WBH-AR-200-01-1202	B.00

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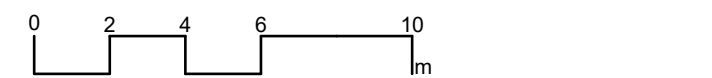
NOTES:

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AREA SCHEDULE

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE	FILE
26-Aug-2025	17-50197-1

- KEY**
- LC01 - LIFT CORE 01
 - LC02 - LIFT CORE 02
 - SC01 - STAIR CORE 01
 - SC02 - STAIR CORE 02
 - SC03 - STAIR CORE 03
 - SC04 - STAIR CORE 04
 - RW01 - RETAINING WALL 01
 - RW02 - RETAINING WALL 02
 - RW03 - RETAINING WALL 03
 - RW04 - RETAINING WALL 04
 - RW05 - RETAINING WALL 05
 - RW06 - RETAINING WALL 06
 - RW07 - RETAINING WALL 07
 - RW08 - RETAINING WALL 08



Revision	Purpose of Issue	Checked	Date
A.02	SILVER ISSUE	JF	07.08.25
A.03	SILVER ISSUE-UPDATED	JF	12.08.25
A.04	SILVER ISSUE	JF	13.08.25
A.05	SILVER ISSUE	JF	14.08.25
B.00	CONCEPT DESIGNISSUE FOR DA	JF	20.08.25

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ABN 90 131 245 684



PROJECT

NEW WOMEN & BABIES HOSPITAL

WBH

DRW SERIES	LEVEL	ZONE	DESIGN PACKAGE
361	-	120	EARLY WORKS

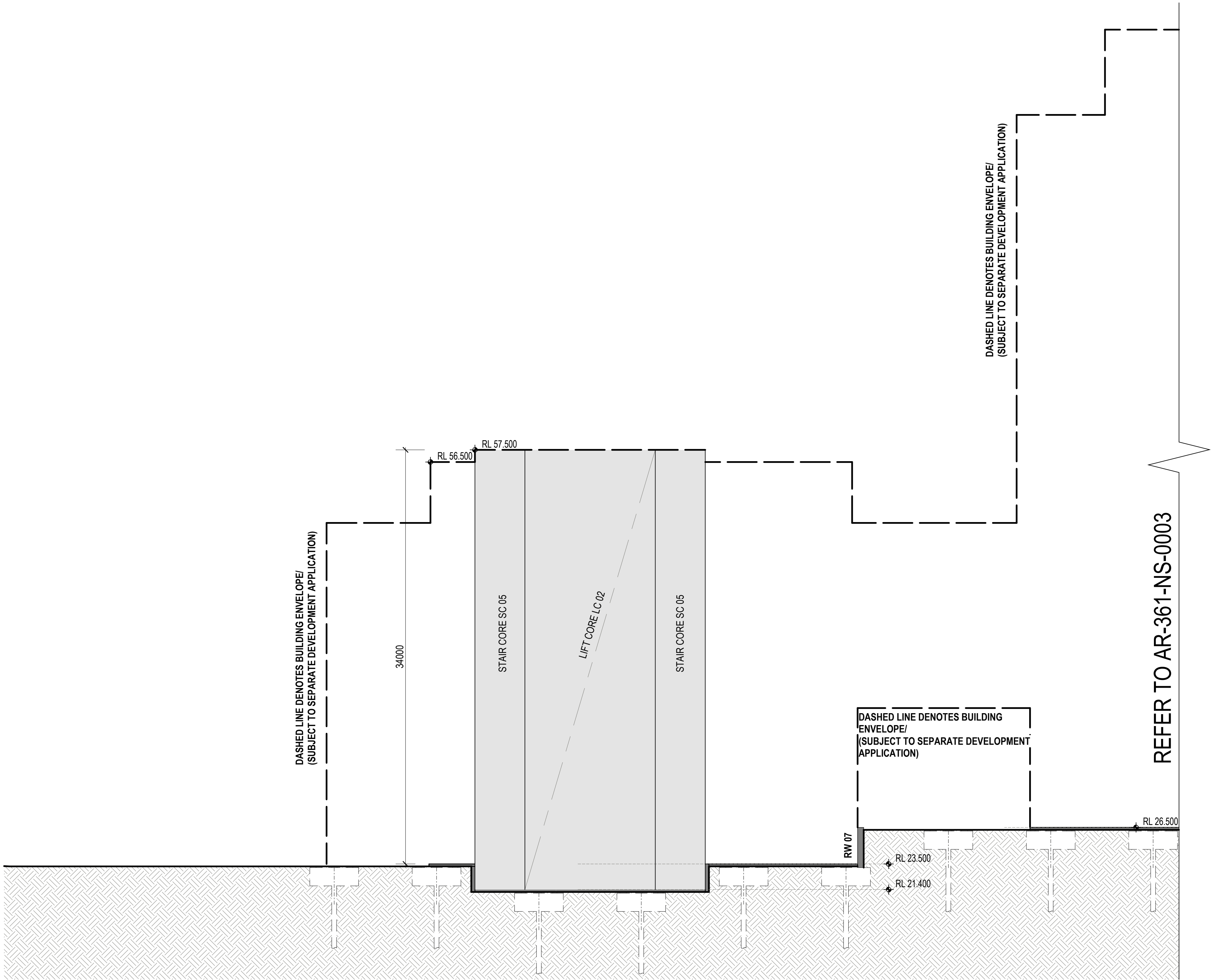
DRAWING

EARLY WORKS DA

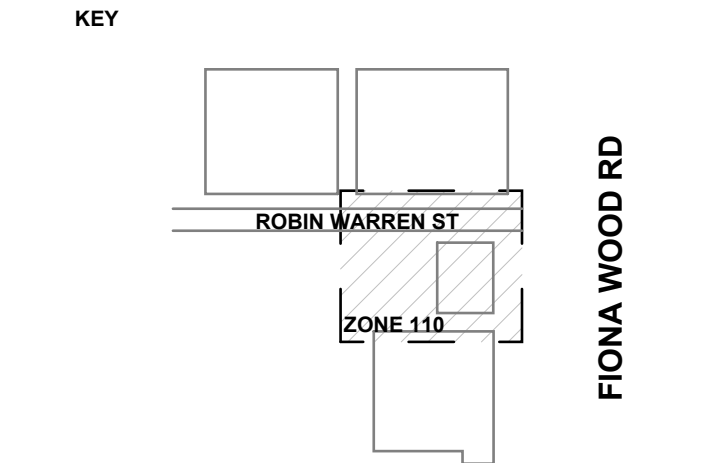
SECTION - SHEET_01

DESIGNED	DRAWN	CHECKED	APPROVED
JF	OB	JF	JG
PROJECT DESIGN STAGE			ORIG. SIZE
CONCEPT DESIGN			A1
COORDINATE SYSTEM		VERTICAL DATUM	SCALE @ A1
PCG2020/ GDA 2020		AHD71	1 : 200
DRAWING No.			REVISION
NWB-ARC-WBH-AR-361-NS-0001			B.00

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AREA SCHEDULE

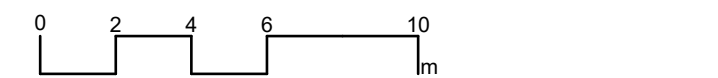
DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE	FILE
26-Aug-2025	17-50197-1

KEY

LC01 - LIFT CORE 01
LC02 - LIFT CORE 02

SC01 - STAIR CORE 01
SC02 - STAIR CORE 02
SC03 - STAIR CORE 03
SC04 - STAIR CORE 04

RW01 - RETAINING WALL 01
RW02 - RETAINING WALL 02
RW03 - RETAINING WALL 03
RW04 - RETAINING WALL 04
RW05 - RETAINING WALL 05
RW06 - RETAINING WALL 06
RW07 - RETAINING WALL 07
RW08 - RETAINING WALL 08



Revision	Purpose of Issue	Checked	Date
A.01	BRONZE ISSUE	JG	25.07.25
A.02	SILVER ISSUE	JF	07.08.25
A.03	SILVER ISSUE	JF	14.08.25
B.00	CONCEPT DESIGN/ISSUE FOR DA	JF	20.08.25

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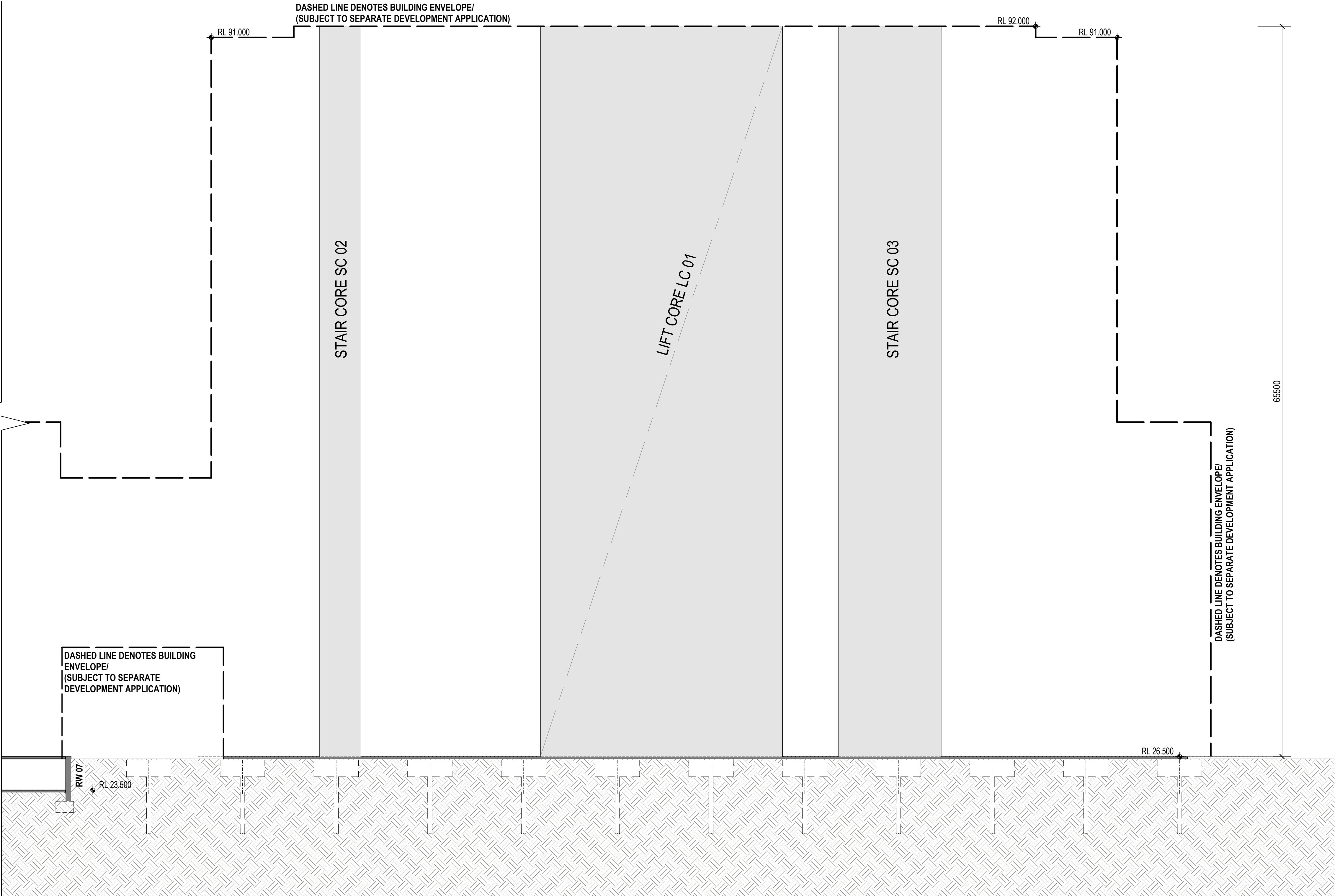
PROJECT
NEW WOMEN & BABIES HOSPITAL
WBH

DRW SERIES	LEVEL	ZONE	DESIGN PACKAGE
361	-	110	EARLY WORKS

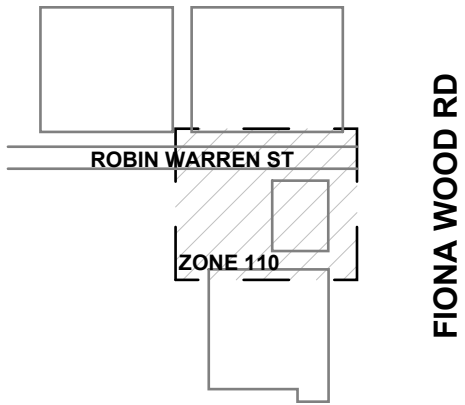
DRAWING
EARLY WORKS DA
SECTION - SHEET_02

DESIGNED	DRAWN	CHECKED	APPROVED
JF	OB	JF	JG
PROJECT DESIGN STAGE			ORIG. SIZE
CONCEPT DESIGN			A1
COORDINATE SYSTEM	VERTICAL DATUM	SCALE @ A1	
PCG2020/ GDA 2020	AHD71	1 : 200	
DRAWING No.			REVISION
NWB-ARC-WBH-AR-361-NS-0002			B.00

REFER TO AR-361-NS-0002



KEY



JENNALUP ST

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AREA SCHEDULE

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE	FILE
26-Aug-2025	17-50197-1

KEY

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LC02 - LIFT CORE 02

SC01 - STAIR CORE 01
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SC03 - STAIR CORE 03
SC04 - STAIR CORE 04

RW01 - RETAINING WALL 01
RW02 - RETAINING WALL 02
RW03 - RETAINING WALL 03
RW04 - RETAINING WALL 04
RW05 - RETAINING WALL 05
RW06 - RETAINING WALL 06
RW07 - RETAINING WALL 07
RW08 - RETAINING WALL 08



Revision	Purpose of Issue	Checked	Date
A.01	BRONZE ISSUE	JG	25.07.25
A.02	SILVER ISSUE	JF	07.08.25
A.03	SILVER ISSUE	JF	14.08.25
B.00	CONCEPT DESIGN/ISSUE FOR DA	JF	20.08.25

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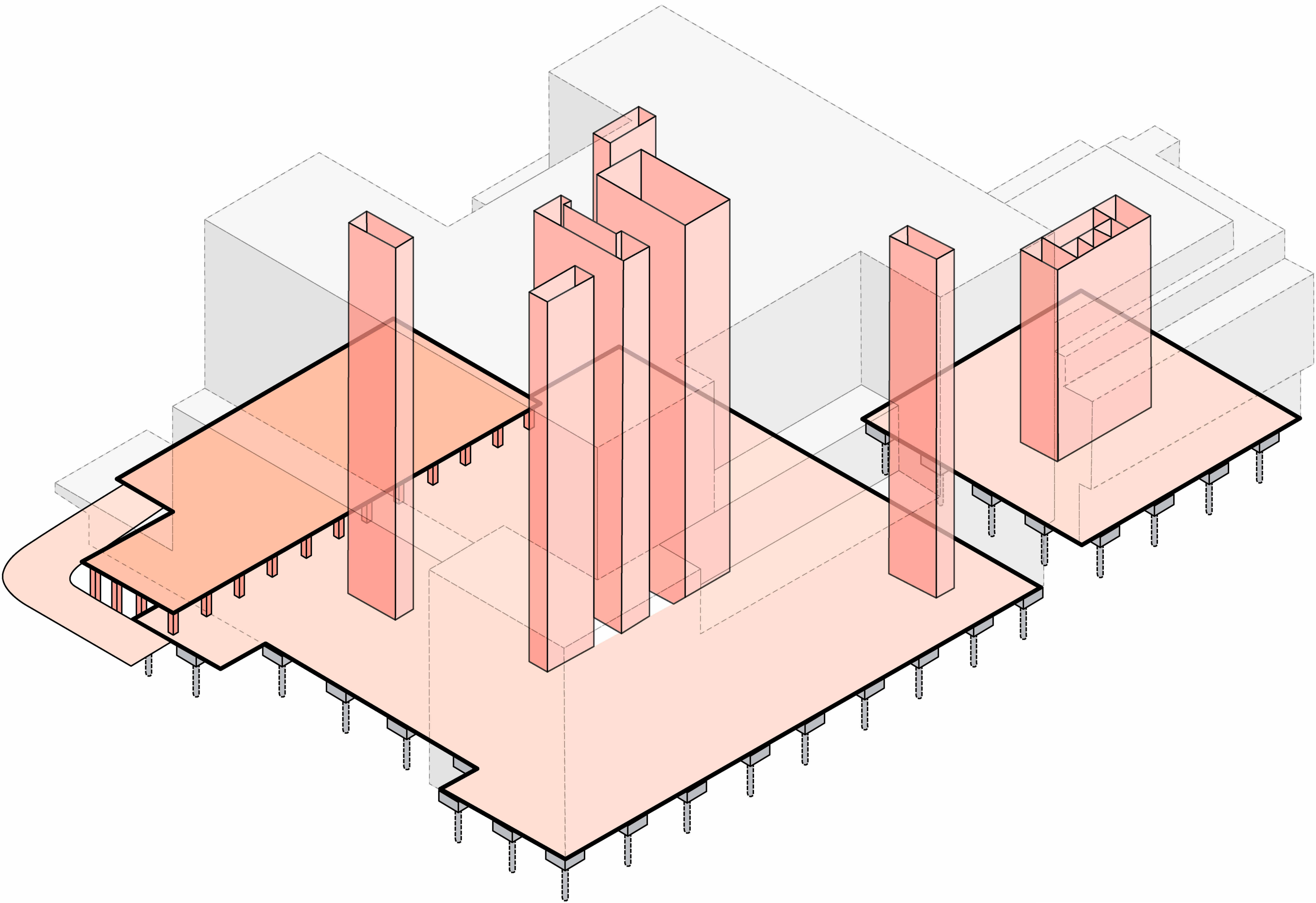
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ABN 90 131 245 684



PROJECT			
NEW WOMEN & BABIES HOSPITAL			
WBH			
DRW SERIES	LEVEL	ZONE	DESIGN PACKAGE
361	-	110	EARLY WORKS
DRAWING			
EARLY WORKS DA			
SECTION - SHEET_03			

DESIGNED	DRAWN	CHECKED	APPROVED
JF	OB	JF	JG
PROJECT DESIGN STAGE			ORIG. SIZE
CONCEPT DESIGN			A1
COORDINATE SYSTEM	VERTICAL DATUM	SCALE @ A1	
PCG2020/ GDA 2020	AHD71	1 : 200	
DRAWING No.			REVISION
NWB-ARC-WBH-AR-361-NS-0003			B.00

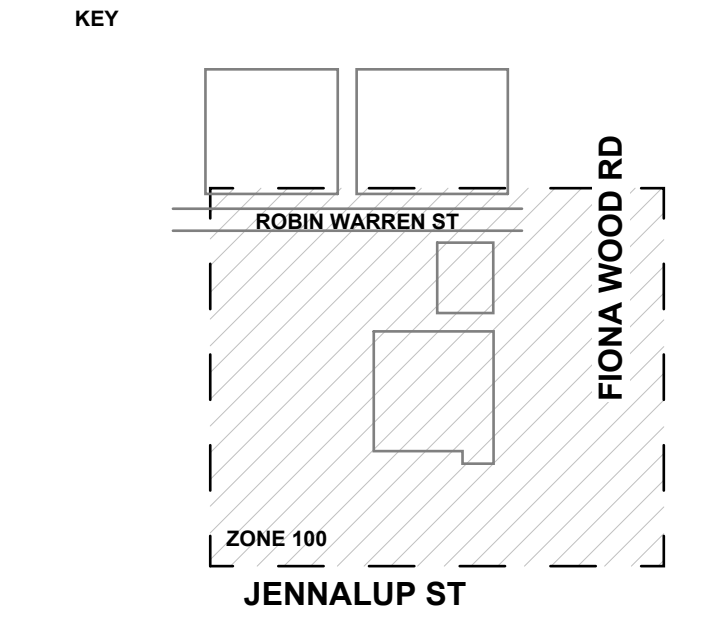
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Indicative development massing shown grey
(subject to separate development application)

CONCEPT DIAGRAM - Subject to Change

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AREA SCHEDULE

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE	FILE
26-Aug-2025	17-50197-1

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A.01	BRONZE ISSUE	JG	25.07.25
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PROJECT

NEW WOMEN & BABIES HOSPITAL

WBH

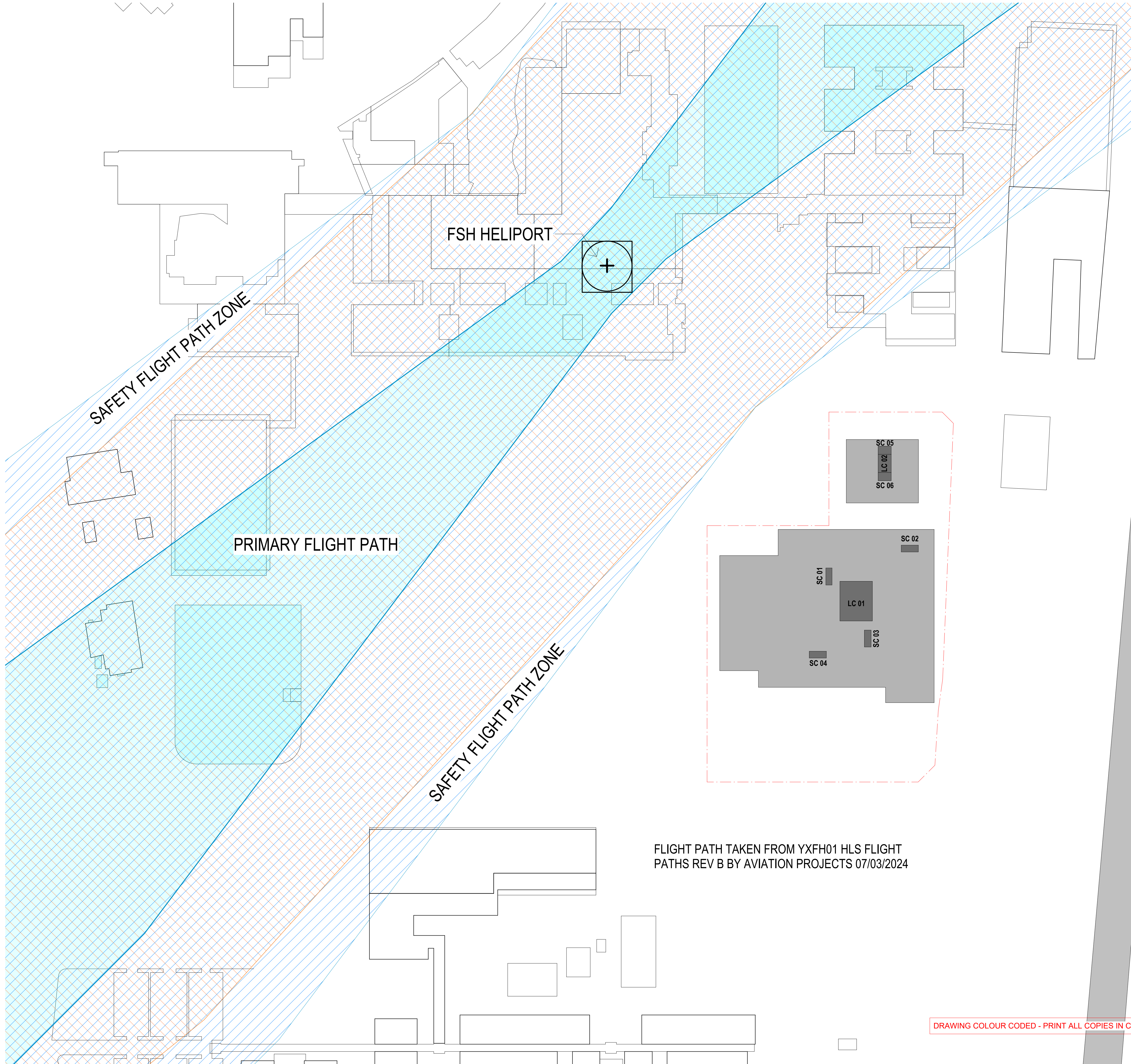
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010		100	EARLY WORKS

DRAWING

EARLY WORKS DA

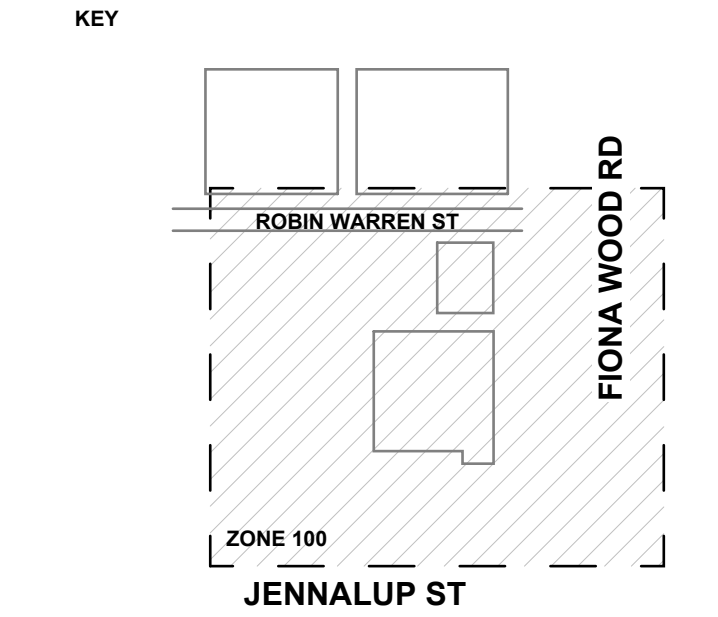
OVERALL AXO MASSING

DESIGNED	DRAWN	CHECKED	APPROVED
JF	SS	JG	JG
PROJECT DESIGN STAGE			ORIG. SIZE
CONCEPT DESIGN			A1
COORDINATE SYSTEM		VERTICAL DATUM	SCALE @ A1
PCG2020/ GDA 2020		AHD71	
DRAWING No.			REVISION
NWB-ARC-WBH-AR-010-10-0001			B.00



FLIGHT PATH TAKEN FROM YXFH01 HLS FLIGHT
PATHS REV B BY AVIATION PROJECTS 07/03/2024

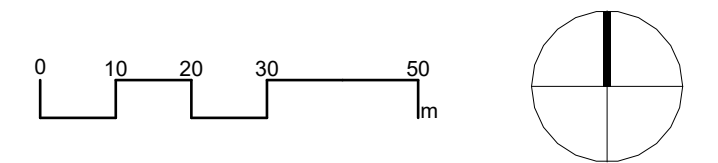
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DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 26-Aug-2025	FILE 17-50197-1



Revision	Purpose of Issue	Checked	Date
A.01	BRONZE ISSUE	JG	25.07.25
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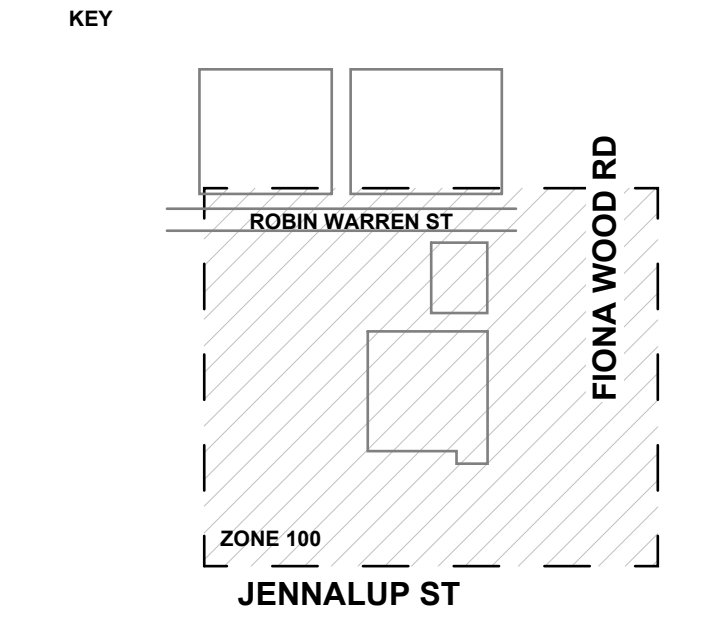
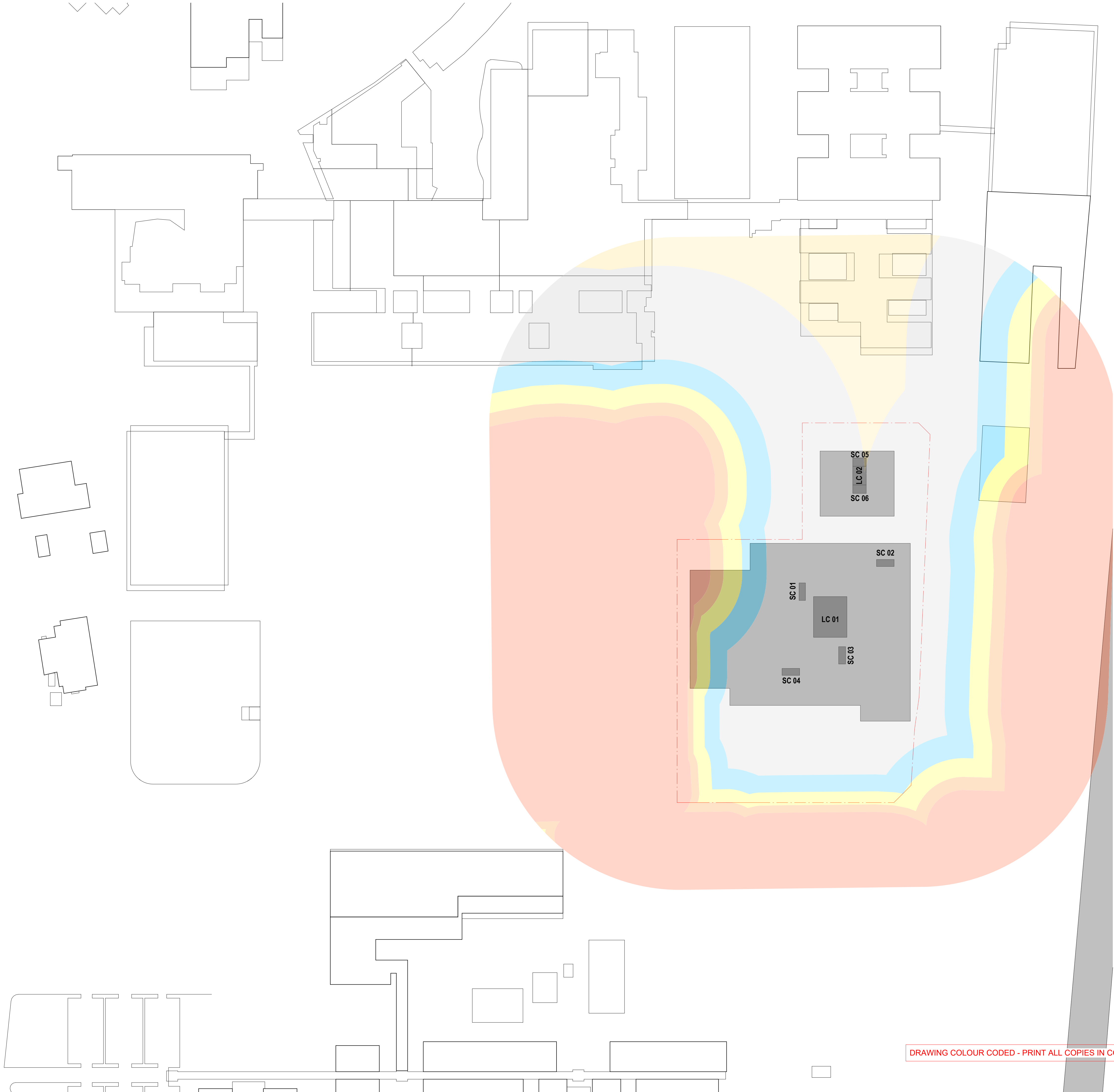


PROJECT
NEW WOMEN & BABIES HOSPITAL
WBH

DRW SERIES	LEVEL	ZONE	DESIGN PACKAGE
020		100	EARLY WORKS

DRAWING
EARLY WORKS DA
SITE IMPACTS - FLIGHT PATH

DESIGNED JF	DRAWN SS	CHECKED JG	APPROVED JG
PROJECT DESIGN STAGE CONCEPT DESIGN			ORIG. SIZE A1
COORDINATE SYSTEM PCG2020/ GDA 2020		VERTICAL DATUM AHD71	SCALE @ A1 1 : 1000
DRAWING No. NWB-ARC-WBH-AR-020-00-0001			REVISION B.00



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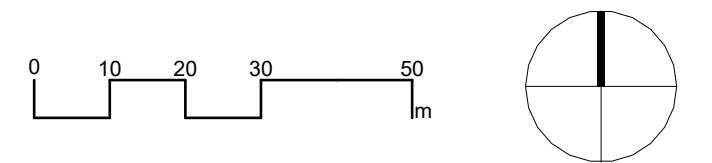
AREA SCHEDULE

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 26-Aug-2025	FILE 17-50197-1

BAL DIAGRAM TAKEN FROM BUSHFIRE ATTACK LEVEL (BAL) CONTOURS BY WESTERN ENVIRONMENTAL PTY LTD 09/07/2025

BUSHFIRE ATTACK LEVEL (BAL)

	BAL-FZ
	BAL-40
	BAL-29
	BAL-19



Revision	Purpose of Issue	Checked	Date
A.01	BRONZE ISSUE	JG	25.07.25
A.02	SILVER ISSUE	JF	07.08.25
A.03	SILVER ISSUE-UPDATED	JF	12.08.25
B.00	CONCEPT DESIGN/ISSUE FOR DA	JF	20.08.25

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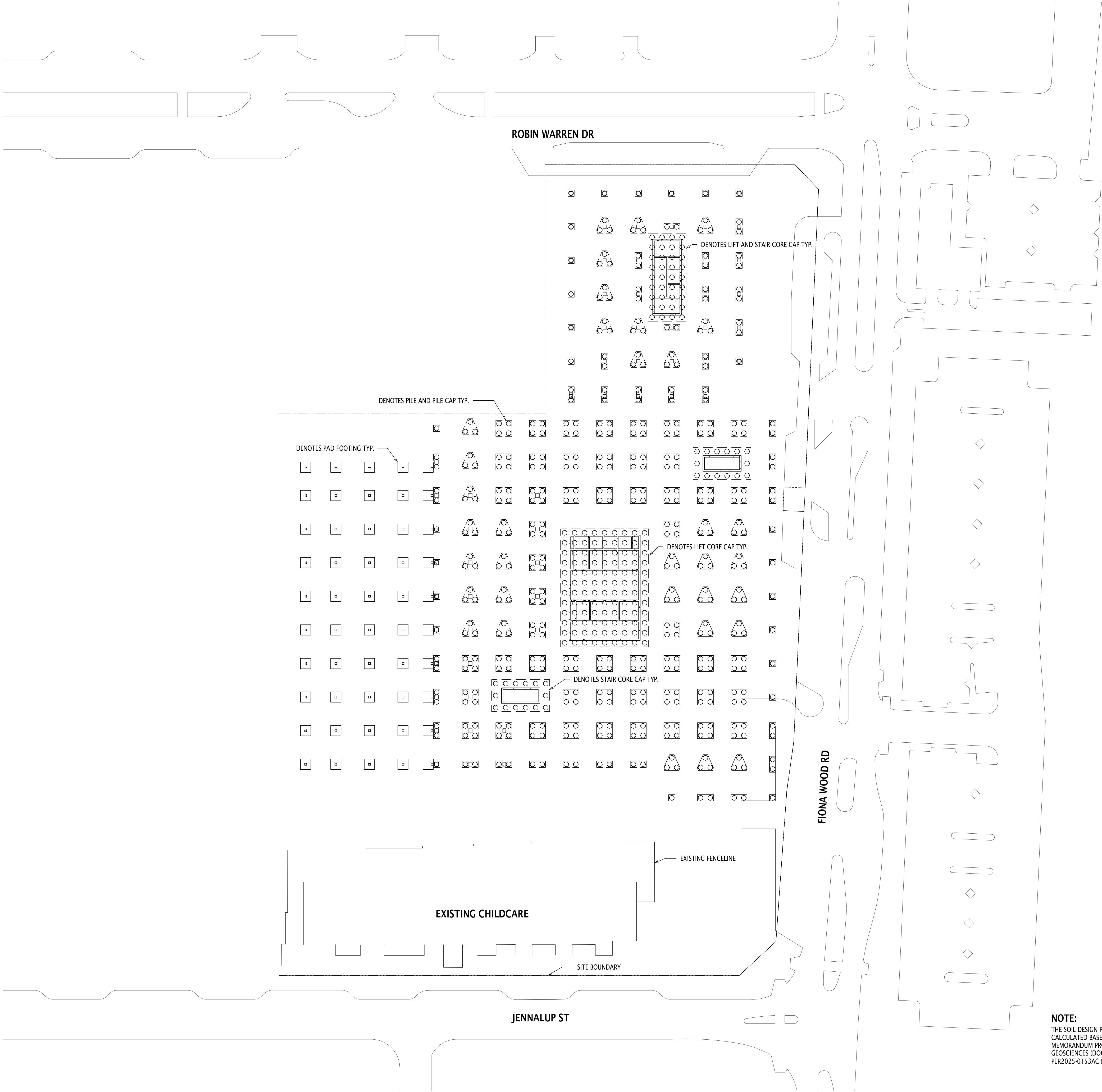
PROJECT
NEW WOMEN & BABIES HOSPITAL
WBH

DRW SERIES	LEVEL	ZONE	DESIGN PACKAGE
020		100	EARLY WORKS

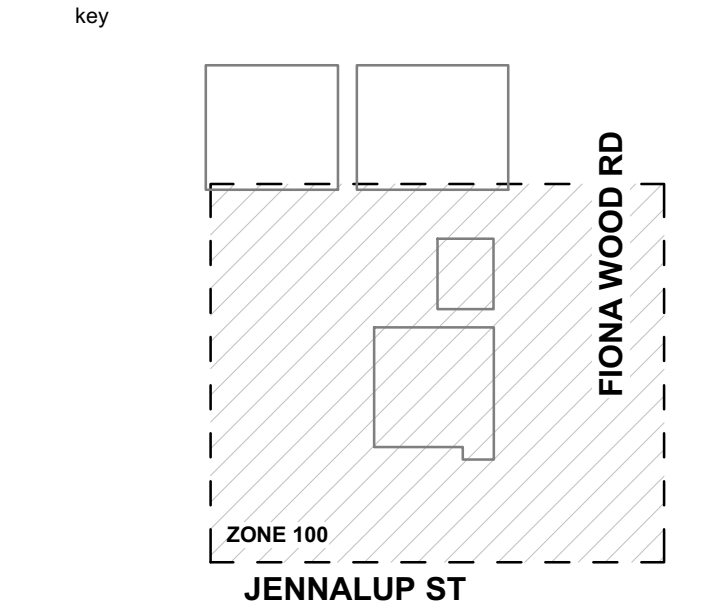
DRAWING
EARLY WORKS DA
SITE IMPACTS - BAL

DESIGNED JF	DRAWN SS	CHECKED JG	APPROVED JG
PROJECT DESIGN STAGE CONCEPT DESIGN			ORIG. SIZE A1
COORDINATE SYSTEM PCG2020/ GDA 2020		VERTICAL DATUM AHD71	SCALE @ A1 1:1000
DRAWING No. NWB-ARC-WBH-AR-020-00-0002			REVISION B.00

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THE SOIL DESIGN PARAMETERS ARE
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MEMORANDUM PROVIDED BY CMW
GEOSCIENCES (DOCUMENT NO.
PER2025-0153AC Rev0 DATED 25 JULY 2025)



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**DEPARTMENT OF PLANNING, LANDS
AND HERITAGE**

DATE 26-Aug-2025	FILE 17-50197-1
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0 5 10 15 25
m

Revision	Purpose of Issue	Checked	Date
A.00	ISSUED FOR TENDER	J.DB	27/06/25
B.00	CONCEPT DESIGN - ISSUE FOR DA	J.DB	20/08/25

Structural, Civil & Construction
Engineering Consultant

Robert Bird Group
an **Su** company

PERTH
Robert Bird Group Pty Ltd
Level 14, 109 St Georges
Terrace

Ph: (08) 8232 6683
Email: adelaide@robertbird.com.au
Web: www.robertbird.com
ACN 010 580 248

WA life

Government of Western Australia

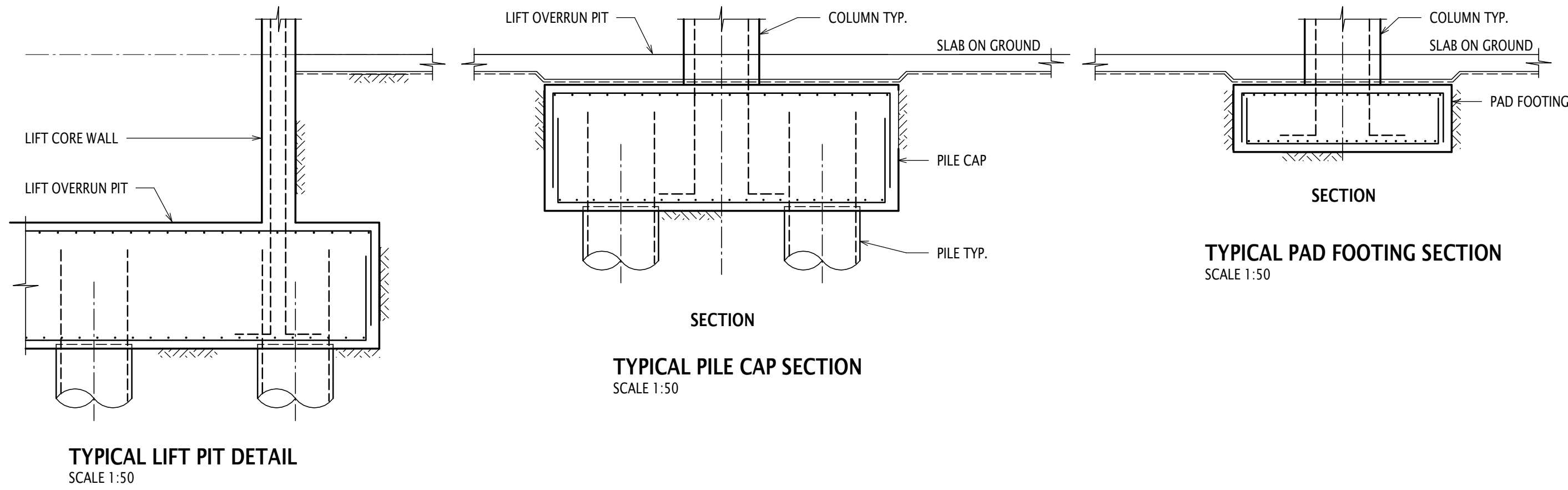
NEW WOMEN & BABIES
HOSPITAL PROJECT

PROJECT
NEW WOMEN AND BABIES HOSPITAL
WBH

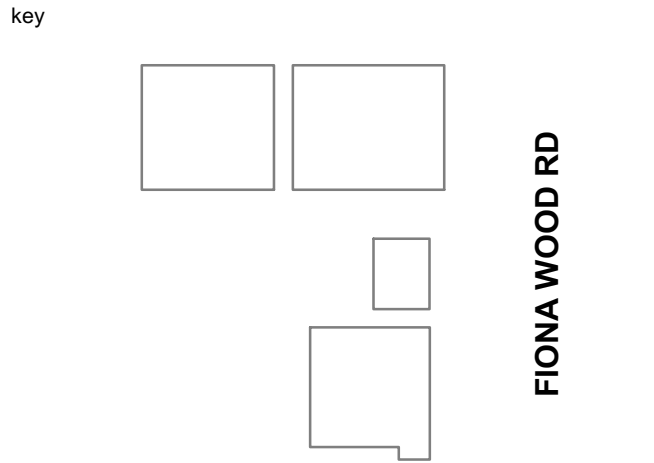
DRAWING REGISTER SERIES
150 - PILING

DRAWING
PILING SITE PLAN

LEVEL 00	ZONE 100		
PROJECT DESIGN STAGE CONCEPT DESIGN	DISCIPLINE ST	ORIG. SIZE A1	
DESIGNED M.F.	DES. CHK. J.D.B.	DRAWN T.M.	APPROVED J.D.B.
DRAWING No. NWB-RBG-WBH-ST-150-00-1000	SCALE 1 : 500	REVISION B.00	



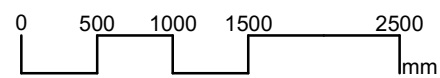
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DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE	FILE
26-Aug-2025	17-50197-1



Revision	Purpose of Issue	Checked	Date
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Structural, Civil & Construction Engineering Consultant

Robert Bird Group
an **Su** company

PERTH
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Level 14, 109 St Georges Terrace
ACN 010 580 248

Ph: (08) 8232 6683
Email: adelaide@robertbird.com.au
Web: www.robertbird.com

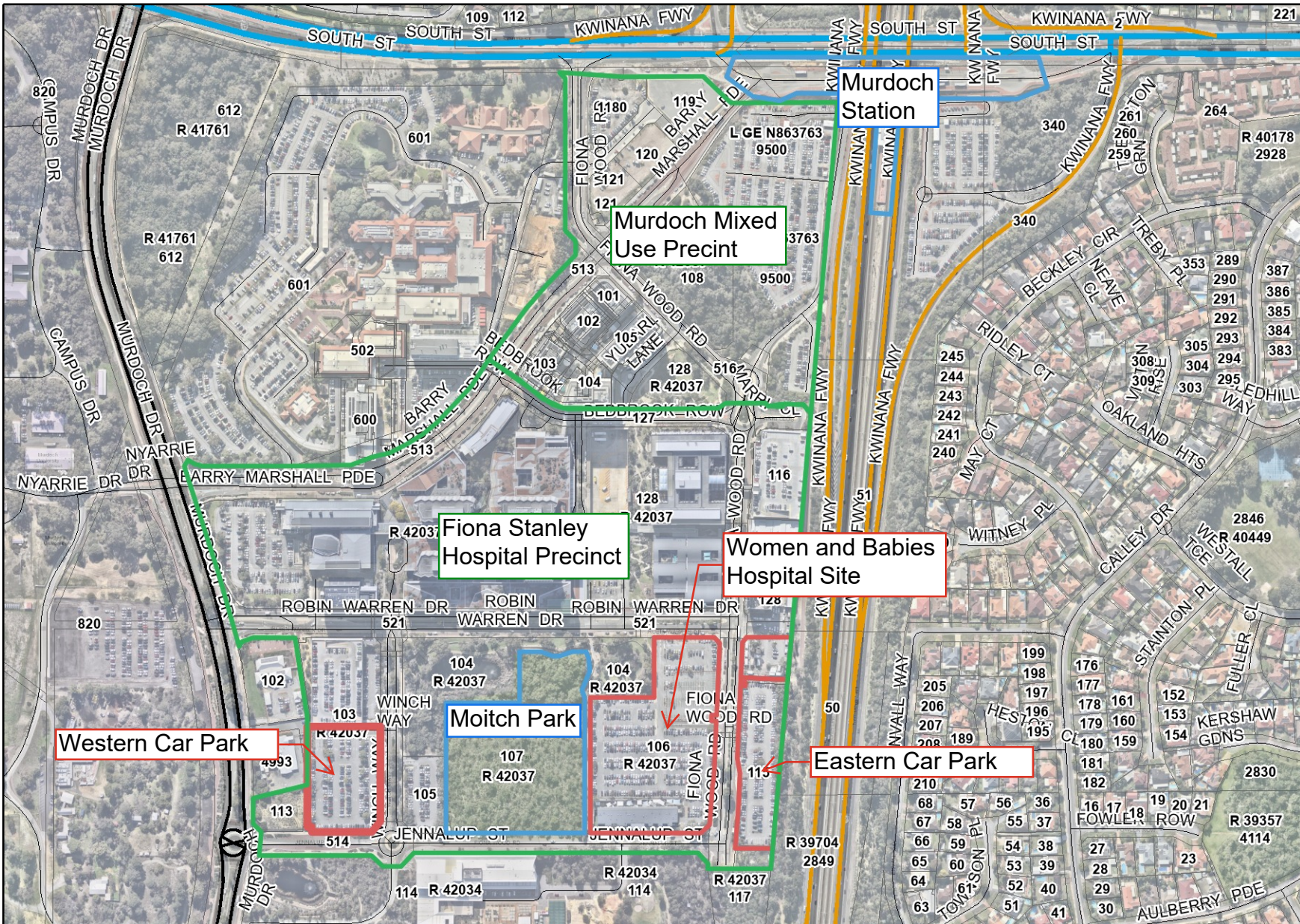


PROJECT
NEW WOMEN AND BABIES HOSPITAL
WBH

DRAWING REGISTER SERIES
184 - FOUNDATION DETAILS

DRAWING
FOUNDATION DETAILS - SHEET 2

LEVEL	ZONE		
NS	N/A		
PROJECT DESIGN STAGE		DISCIPLINE	ORIG. SIZE
CONCEPT DESIGN		ST	A1
DESIGNED	DES. CHK.	DRAWN	APPROVED
M.F.	P.L.	T.M.	J.D.B.
DRAWING No.			REVISION
NWB-RBG-WBH-ST-184-NS-0002			B.00



Legend

☐ Cadastre (View 1)

Roads

-  State Highway
-  Freeway
-  Main
-  Minor

Notes:

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- * This map is not intended for measurement purposes.

Map was produced using DPLH's InQuery.

Aerial Location Plan

DPLH BUSINESS USE ONLY

Internal Spatial Viewer

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0 0.15 0.30 Kilometres

1 : 6,948 at A4

Projection: WGS 1984 Web Mercator Auxiliary Sphere
Graticules (if visible): GDA 1994 Latitude/Longitude



Legend

Cadastre (View 1)

Region Scheme Boundary

Region Scheme Zones and Reserves

Primary regional roads

Public purposes - hospital

Public purposes - tertiary education

Urban

Zoning Plan

DPLH BUSINESS USE ONLY

Internal Spatial Viewer

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0 0.08 0.17 Kilometres

1: 3,926 at A4

Projection: WGS 1984 Web Mercator Auxiliary Sphere
Graticules (if visible): GDA 1994 Latitude/Longitude

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Date produced: 03-Oct-2025



(08) 6162 8980
PO Box 437, Leederville, WA 6903
enquiries@westenv.com.au

Bushfire Attack Level (BAL) Assessment Report

Site details	
Address:	Fiona Stanley Women and Babies Hospital, formerly Staff Car Park 9.
Suburb:	Murdoch
State:	Western Australia
Local Government Area:	City of Melville
Description of Building Works:	Development of a new women and babies hospital.

Report details			
Project number	A25.184	Report version	0
Assessment date	13/06/2025	Report date	27/08/2025
Author	Beau Eaton	Review	Daniel Panickar (BPAD L3 -37802) 

Purpose

This Bushfire Attack Level (BAL) Report has been prepared to support a development application for a new women and babies hospital located in Murdoch (subject site). This report details the vegetation classification, BAL contour mapping, and associated BAL ratings applied to the development in accordance with the *Australian Standard AS 3959: 2018 Construction of Buildings in Bushfire Prone Areas* (AS 3959: 2018; SA, 2018) and *State Planning Policy 3.7 – Bushfire* (SPP 3.7; WAPC, 2024).

Site Assessment and Site Plan

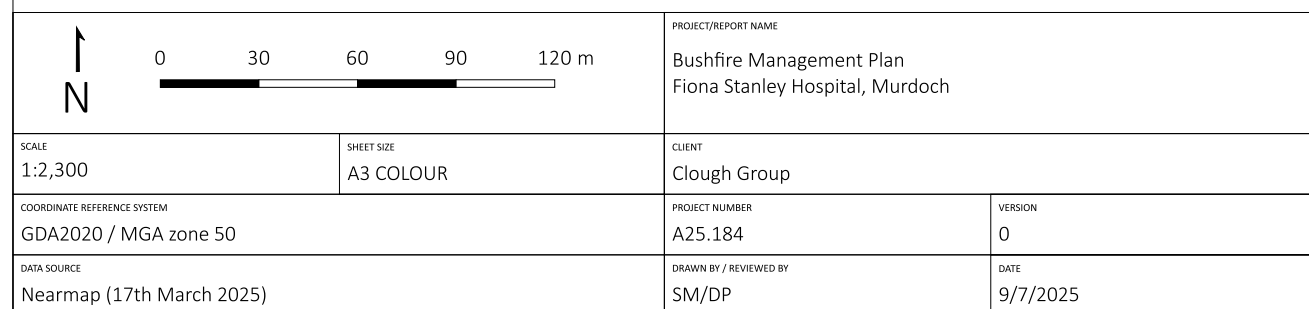
A site assessment was undertaken on 13/06/2025 at the subject site, for the purpose of determining the Bushfire Attack Level (BAL) in accordance with AS 3959: 2018 Simplified Procedure (Method 1). An overview of the site, including the proposed lot layout and bushfire prone areas, is presented in Figure 1.

Vegetation Classification

All vegetation within 100 m of the subject site was classified in accordance with Clause 2.2.3 of AS 3959: 2018. Each vegetation classification is presented in Figure 2 and described in Table 1.



Figure 1: Site Overview



No	Description	Drawn	Approved	Date
A	Original issue	SM	DP	9/7/2025

NOTES:

Cadastral boundary (LGATE-002). Base map ESRI Topo. Townsites (LGATE-248).

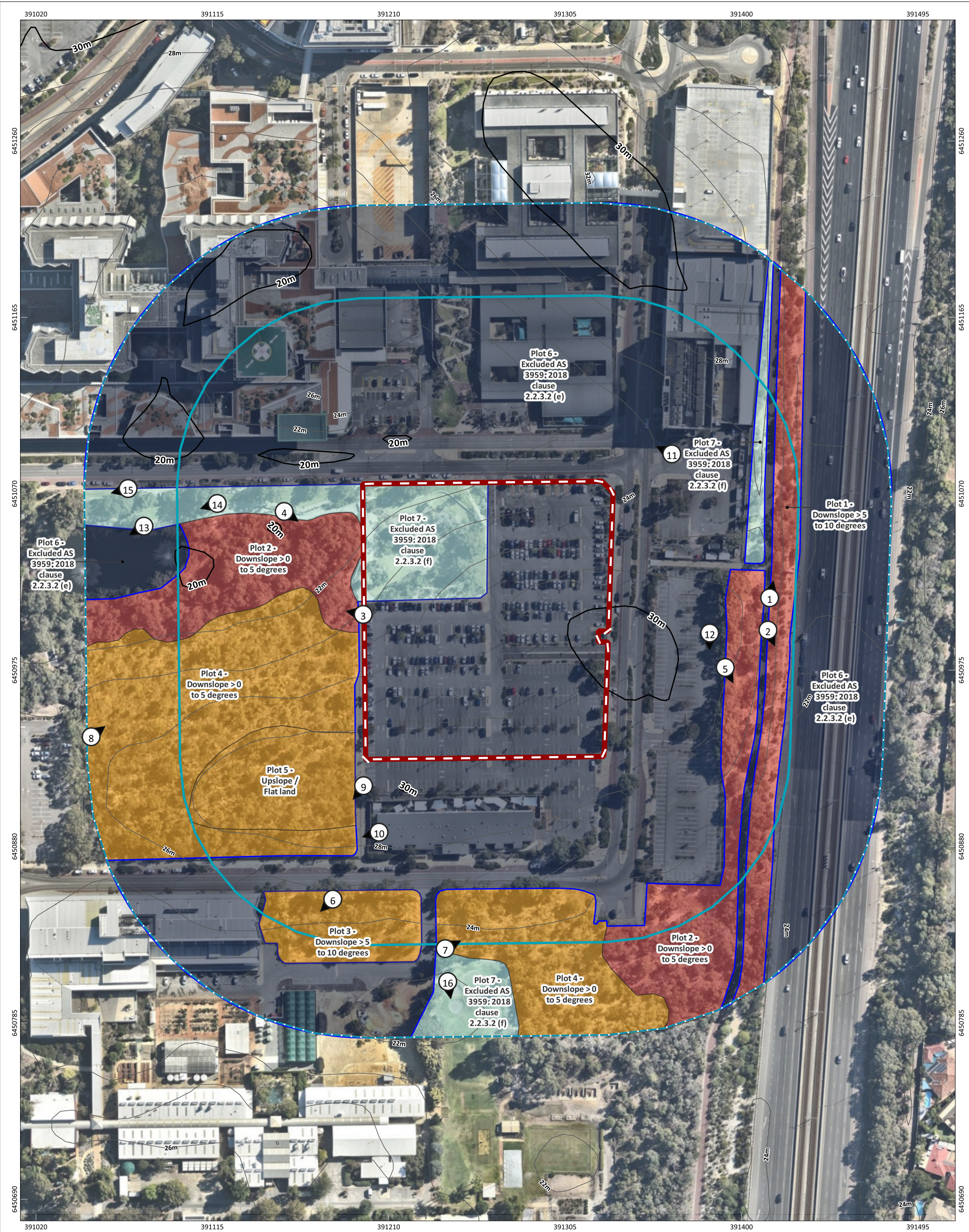


Figure 2: Vegetation Classification

0

15

30

45

60 m

N

SCALE

1:1,900

SHEET SIZE

A3 COLOUR

COORDINATE REFERENCE SYSTEM

GDA2020 / MGA zone 50

DATA SOURCE

Nearmap (17th March 2025)

PROJECT/REPORT NAME

Bushfire Management Plan
Fiona Stanley Hospital, Murdoch

CLIENT

Clough Group

PROJECT NUMBER

A25.184

VERSION

0

DRAWN BY / REVIEWED BY

SM/DP

DATE

9/7/2025

Legend

Subject Site

Buffer 100m

Buffer 150m

Photos

2 metre contours (DPIRD-072)

2m

10m

Vegetation Classification

Class A - Forest

Class D - Scrub

Excluded AS 3959: 2018 2.2.3.2 (e)

Excluded AS 3959: 2018 2.2.3.2 (f)

No	Description	Drawn	Approved	Date
A	Original Issue	SM	DP	9/7/2025

NOTES:
Cadastral boundary (LGATE-002). Label corresponds to the vegetation association number.

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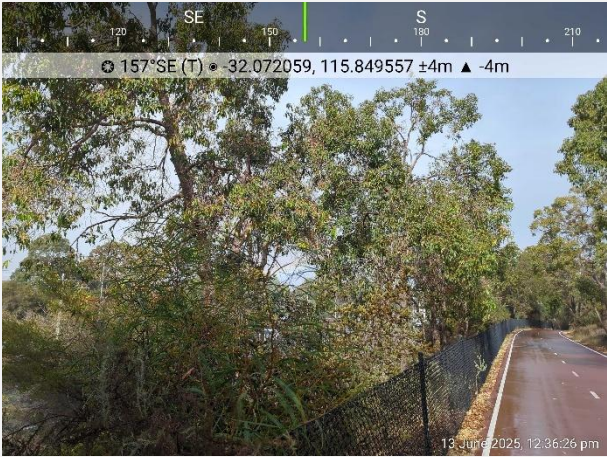
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SPC Agenda Page 43

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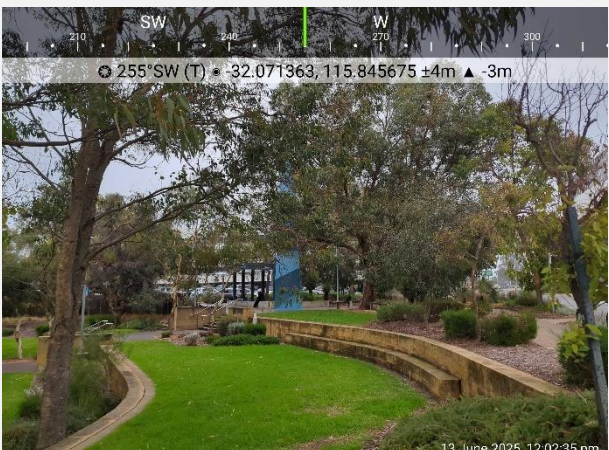
Table 1: Vegetation Classification

Plot 1 Photo 1 Trees up to 20 m in height with a multi-tiered understory. Foliage cover exceeds 30%. The slope under this vegetation was assessed to be downslope >5 – 10 degrees.	Class A Forest  13 June 2025, 12:37:27 pm
Plot 1 Photo 2 Trees up to 20 m in height with a multi-tiered understory. Foliage cover exceeds 30%. The slope under this vegetation was assessed to be downslope >5 – 10 degrees.	Class A Forest  13 June 2025, 12:36:26 pm
Plot 2 Photo 3 Trees up to 20 m in height with a multi-tiered understory. Foliage cover exceeds 30%. This vegetation was photographed in Moitch Park Conservation Area*. The slope under this vegetation was assessed to be downslope >0 – 5 degrees.	Class A Forest  13 June 2025, 12:23:56 pm

Plot 2	Class A Forest
Photo 4 Trees up to 20 m in height with a multi-tiered understory. Foliage cover exceeds 30%. This vegetation was photographed in Moitch Park Conservation Area*. The slope under this vegetation was assessed to be downslope >0 – 5 degrees.	
Plot 2	Class A Forest
Photo 5 Trees up to 20 m in height with a multi-tiered understory. Foliage cover exceeds 30%. The slope under this vegetation was assessed to be downslope >0 – 5 degrees.	
Plot 3	Class D Scrub
Photo 6 Dense shrubs with a foliage cover >30%, predominantly ranging from 2 m – 6 m in height. The slope under this vegetation was assessed to be downslope >5 – 10 degrees.	

Plot 4	Class D Scrub
Photo 7 Dense shrubs with a foliage cover >30%, predominantly ranging from 2 m – 6 m in height. The slope under this vegetation was assessed to be downslope >0 – 5 degrees.	 63°NE (T) • -32.073619, 115.847663 ±3m ▲ -5m 13 June 2025, 12:13:39 pm
Plot 5	Class D Scrub
Photo 8 Dense shrubs with a foliage cover >30%, predominantly ranging from 2 m – 6 m in height. This vegetation was photographed in Moitch Park Conservation Area* and is distinctly different to the Forest vegetation within Plot 2 given its scrub structure consistent with that of other Banksia ‘woodland’ communities on the Swan Coastal Plain. The slope under this vegetation was assessed to be downslope >0 – 5 degrees.	 53°NE (T) • -32.07257, 115.845656 ±3m ▲ -4m 13 June 2025, 12:04:59 pm
Plot 5	Class D Scrub
Photo 9 Dense shrubs with a foliage cover >30%, predominantly ranging from 2 m – 6 m in height. The height staff leant against a Banksia depicts a height of nearly 5 m, with the Allocasuarina on the left of the photograph estimated at approximately 6 m tall. This vegetation was photographed in Moitch Park Conservation Area* and is distinctly different to the Forest vegetation within Plot 2 given its scrub structure consistent with that of other Banksia ‘woodland’ communities on the Swan Coastal Plain. The slope under this vegetation was assessed to be upslope/flat land.	 217°SW (T) • -32.072822, 115.847207 ±3m ▲ 1m 13 June 2025, 12:21:39 pm

Plot 5 Photo 10 Dense shrubs with a foliage cover >30%, predominantly ranging from 2 m – 6 m in height. This vegetation was photographed in Moitch Park Conservation Area* and is distinctly different to the Forest vegetation within Plot 2 given its scrub structure consistent with that of other Banksia ‘woodland’ communities on the Swan Coastal Plain. The occasional Allocasuarina tree is over 6 m tall, however these are scattered throughout the plot and are not dense enough to change the fire behaviour model from Scrub to Forest. The slope under this vegetation was assessed to be upslope/flat land.	Class D Scrub 
Plot 6 Photo 11 Non-vegetated areas comprising roads, footpaths, and buildings (including Fiona Stanley Hospital). These non-vegetated areas have been excluded in accordance with Clause 2.2.3.2 (e) of AS 3959: 2018.	Excluded - clause 2.2.3.2 (e) 
Plot 6 Photo 12 Car park located south-east of Fiona Stanley Hospital. These non-vegetated areas have been excluded in accordance with Clause 2.2.3.2 (e) of AS 3959: 2018.	Excluded - clause 2.2.3.2 (e) 

Plot 6	Excluded - clause 2.2.3.2 (e)
Photo 13 Pond located in the north-western corner of Moitch Park Conservation Area. The pond is a permanent water body and as such, has been excluded in accordance with Clause 2.2.3.2 (e) of AS 3959: 2018.	 13 June 2025, 12:02:12 pm
Plot 7	Excluded - clause 2.2.3.2 (f)
Photo 14 Maintained parkland located north of Moitch Park Conservation Area. This vegetation is regarded as low-threat and has been excluded in accordance with Clause 2.2.3.2 (f) of AS 3959: 2018.	 13 June 2025, 11:59:57 am
Plot 7	Excluded - clause 2.2.3.2 (f)
Photo 15 Maintained parkland located north of Moitch Park Conservation Area. This vegetation is regarded as low-threat and has been excluded in accordance with Clause 2.2.3.2 (f) of AS 3959:2018.	 13 June 2025, 12:02:35 pm

Plot 7	Excluded - clause 2.2.3.2 (f)
Photo 16 Maintained golf course. This vegetation is regarded as low-threat and has been excluded in accordance with Clause 2.2.3.2 (f) of AS 3959:2018.	

*Daniel Panickar was involved in the establishment, commissioning and monitoring of the two conservation reserves within Fiona Stanley Hospital throughout 2013-2016. The structure of vegetation within these reserves at the time of assessment in 2025 remains the same as it was in 2013-2016 and the boundary between Class A Forest and Class D Scrub is considered static.

Relevant Fire Danger Index

The Fire Danger Index for this site has been determined in accordance with Table 2.1 of AS 3959: 2018 and is presented in Table 2.

Table 2: Fire Danger Index (FDI)

Relevant Fire Danger Index			
FDI 40 ☐ <i>Table 2.4.5</i>	FDI 50 ☐ <i>Table 2.4.4</i>	FDI 80 ☒ <i>Table 2.4.3</i>	FDI 100 ☐ <i>Table 2.4.2</i>

Potential Bushfire Impacts

The potential bushfire impact to the site / proposed development from each of the identified vegetation plots are identified below in Table 3.

Table 3: Method 1 BAL Calculation (BAL Contours)

Plot	Vegetation classification	Effective slope	Separation distances required (m)				
			BAL-FZ	BAL-40	BAL-29	BAL-19	BAL-12.5
1	Class A Forest	Downslope >5 to 10 degrees	<26	26-<33	33-<46	46-<61	61-<100
2	Class A Forest	Downslope >0 to 5 degrees	<20	20-<27	27-<37	37-<50	50-<100
3	Class D Scrub	Downslope >5 to 10 degrees	<12	12-<17	17-<24	24-<35	35-<100

Plot	Vegetation classification	Effective slope	Separation distances required (m)				
			BAL-FZ	BAL-40	BAL-29	BAL-19	BAL-12.5
4	Class D Scrub	Downslope >0 to 5 degrees	<11	11-<15	15-<22	22-<31	31-<100
5	Class D Scrub	All upslopes and flat land (0 degrees)	<10	10-<13	13-<19	19-<27	27-<100
6	Excluded - clause 2.2.3.2 (e)	-	No separation distances required - BAL-LOW				
7	Excluded - clause 2.2.3.2 (f)	-	No separation distances required - BAL-LOW				

Bushfire Attack Level (BAL) Advice

The subject site contains areas exposed to a radiant heat impact exceeding 40kW/m² (BAL-FZ) from the forest and scrub vegetation that occurs within Moitch Park to the west, as shown on the BAL Contour Map in Figure 3. As the building footprint is not yet known, the proposed hospital may achieve a BAL rating of ≤BAL-29 by ensuring the building is set back from the edge of the adjacent classified vegetation by a minimum of:

- 27 m for Class A Forest on downslope >0 to 5 degrees.
- 10 m for Class C Shrubland on downslope >0 to 5 degrees.
- 9 m for Class C Shrubland on upslope and flat land.

The proposed hospital is a Class 9c building under the *National Construction Code* (NCC). Consequently, it will need to comply with *Part G5 Construction in bushfire prone areas* and *Specification 43 Bushfire protection for certain Class 9 buildings* of the NCC. This may require the building to be subject to a radiant heat flux <10 kW/m² which is depicted in Figure 3. Calculations supporting this threshold are included in Appendix B. However, WEPL understand that a fire engineered solution to meet the requirements of this element of the NCC is being investigated.

Note: This BAL rating is based on the information current at the date of this document and is valid for 12 months.

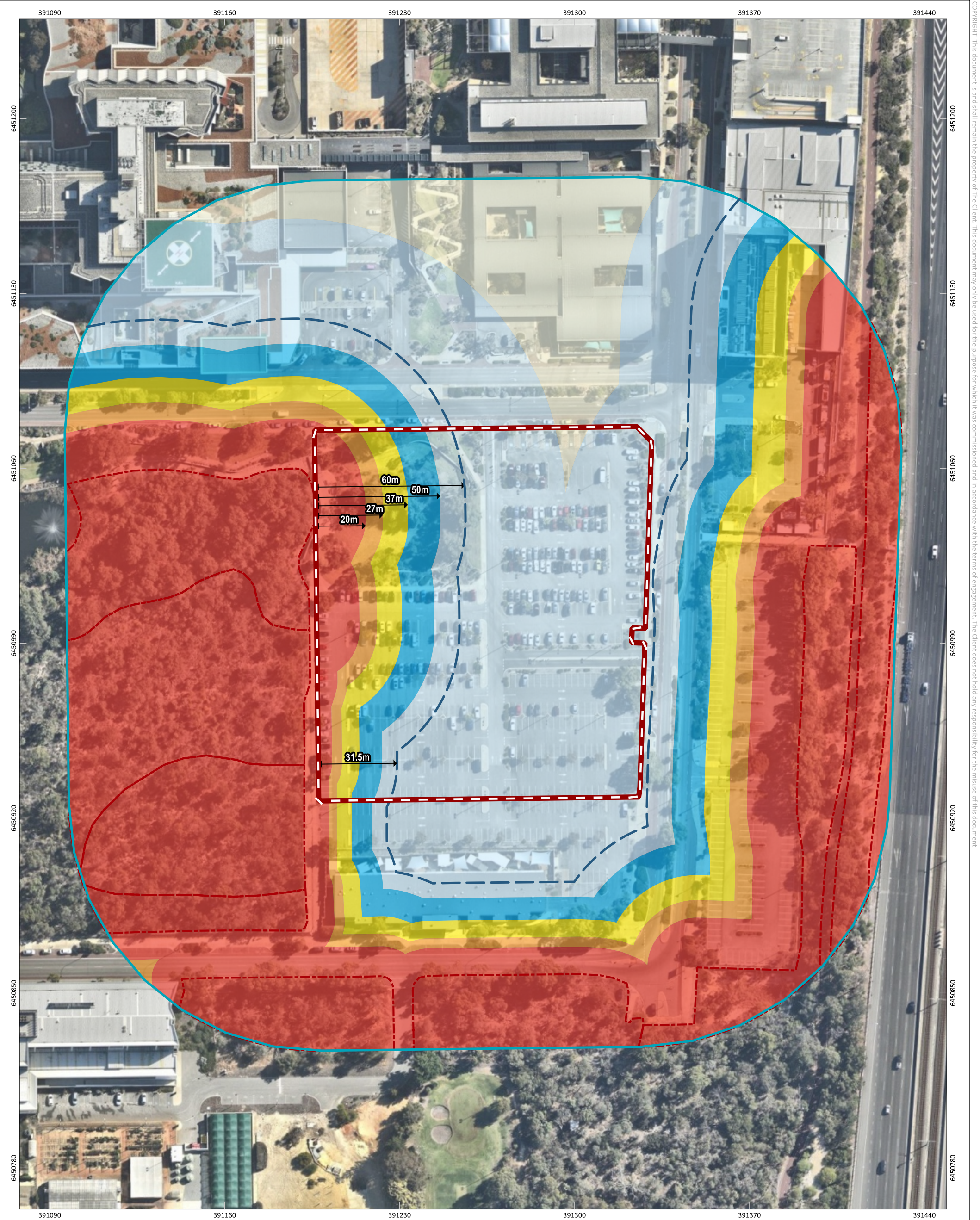


Figure 3: Bushfire Attack Level (BAL) Contours

0

10

20

30

40 m

N

SCALE

1:1,400

SHEET SIZE

A3 COLOUR

COORDINATE REFERENCE SYSTEM

GDA2020 / MGA zone 50

DATA SOURCE

Nearmap (17th March 2025)

PROJECT/REPORT NAME

Bushfire Management Plan
Fiona Stanley Hospital, Murdoch

CLIENT

Clough Group

PROJECT NUMBER

A25.184

VERSION

0

DRAWN BY / REVIEWED BY

SM/DP

DATE

9/7/2025

Legend

Subject Site

Buffer 100m

Bushfire Hazard Interface

10kW/m2

Bushfire Attack Level (BAL)

BAL-FZ

BAL-40

BAL-29

BAL-19

BAL-12.5

BAL-LOW

No	Description	Drawn	Approved	Date
A	Original issue	SM	DP	9/7/2025

NOTES:

Cadastral boundary (LGATE-002). Label corresponds to the vegetation association number.

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Western Environmental Pty Ltd

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Appendix A

Additional Information / Advisory Notes

This assessment was undertaken as per AS 3959: 2018. It is important that the current version of AS 3959, is consulted for construction purposes.

This BAL rating is based on the information current at the date of this letter and is valid for 12 months from the date of this letter.

Bushfire Attack Level (BAL) as set out in the Australian Standard 3959 Construction of Buildings in Bushfire-Prone Areas (AS 3959), as referenced in the Building Code of Australia.

Bushfire Attack Level (BAL)	Classified vegetation within 100 m of the site and radiant heat flux exposure thresholds	Description of predicted bush fire attack and levels of exposure	Construction Section as per AS 3959
BAL-LOW		There is insufficient risk to warrant specific construction requirements.	4
BAL-12.5	$\leq 12.5 \text{ kW/m}^2$	Ember attack	3 and 5
BAL-19	$>12.5 \text{ kW/m}^2 \leq 19 \text{ kW/m}^2$	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing radiant heat flux.	3 and 6
BAL-29	$>19 \text{ kW/m}^2 \leq 29 \text{ kW/m}^2$	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing radiant heat flux	3 and 7
BAL-40	$>29 \text{ kW/m}^2 \leq 40 \text{ kW/m}^2$	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing radiant heat flux with the increased likelihood of exposure to flames.	3 and 8
BAL-FZ	$>40 \text{ kW/m}^2$	Direct exposure to flames from fire front in addition to radiant heat flux and ember attack	3 and 9

Appendix B

Detailed Method 2 BAL Assessment



NBC Bushfire Attack Assessment Report V4.1

AS3959 (2018) Appendix B - Detailed Method 2

Print Date: 22/07/2025

Assessment Date: 10/06/2025

Site Street Address: New Womens and Babies Hospital, Murdoch

Assessor: Daniel Panickar; Western Environmental

Local Government Area: WA

Alpine Area: No

Equations Used

Transmissivity: Fuss and Hammins, 2002

Flame Length: RFS PBP, 2001/Vesta/Catchpole

Rate of Fire Spread: Noble et al., 1980

Radiant Heat: Drysdale, 1985; Sullivan et al., 2003; Tan et al., 2005

Peak Elevation of Receiver: Tan et al., 2005

Peak Flame Angle: Tan et al., 2005

Run Description: Plot 1 Forest >5-10

Vegetation Information

Vegetation Type: Forest

Vegetation Group: Forest and Woodland

Vegetation Slope: 10 Degrees

Vegetation Slope Type: Downslope

Surface Fuel Load(t/ha): 25

Overall Fuel Load(t/ha): 35

Vegetation Height(m): 2

Only Applicable to Shrub/Scrub and Vesta

Site Information

Site Slope: 0 Degrees

Site Slope Type: Downslope

Elevation of Receiver(m): Default

APZ/Separation(m): 72

Fire Inputs

Veg./Flame Width(m): 100

Flame Temp(K): 1090

Calculation Parameters

Flame Emissivity: 95

Relative Humidity(%): 25

Heat of Combustion(kJ/kg) 18600

Ambient Temp(K): 308

Moisture Factor: 5

FDI: 80

Program Outputs

Level of Construction: BAL 12.5

Peak Elevation of Receiver(m): 16.37

Radiant Heat(kW/m2): 9.94

Flame Angle (degrees): 68

Flame Length(m): 35.3

Maximum View Factor: 0.175

Rate Of Spread (km/h): 4.78

Inner Protection Area(m): 52

Transmissivity: 0.749

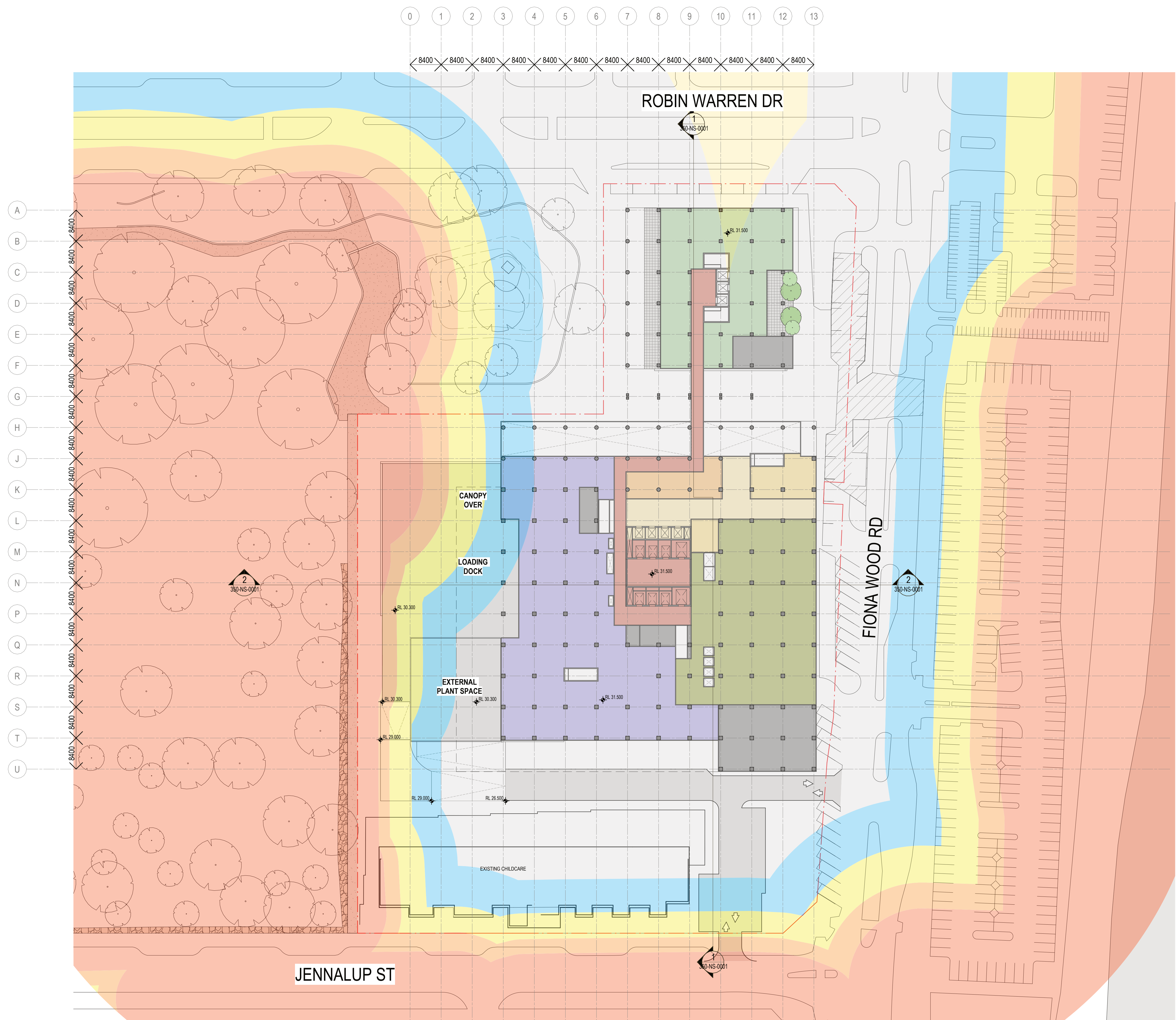
Outer Protection Area(m): 20

Fire Intensity(kW/m): 86527

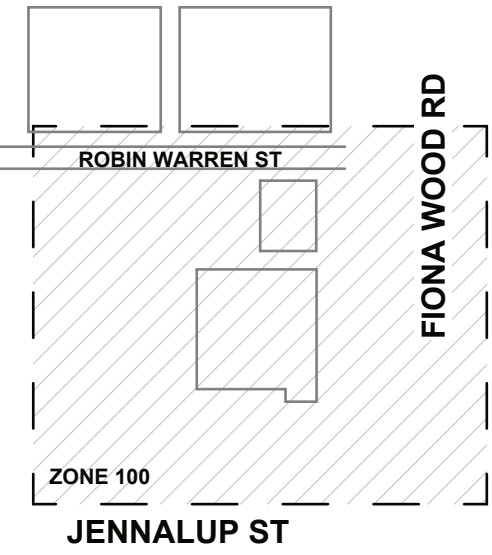
Run Description:		Plot 2 Forest >0-5	
<u>Vegetation Information</u>			
Vegetation Type:		Forest	
Vegetation Group:		Forest and Woodland	
Vegetation Slope:		5 Degrees	Vegetation Slope Type: Downslope
Surface Fuel Load(t/ha):		25	Overall Fuel Load(t/ha): 35
Vegetation Height(m):		2	Only Applicable to Shrub/Scrub and Vesta
<u>Site Information</u>			
Site Slope:		0 Degrees	Site Slope Type: Downslope
Elevation of Receiver(m):		Default	APZ/Separation(m): 60
<u>Fire Inputs</u>			
Veg./Flame Width(m):		100	Flame Temp(K): 1090
<u>Calculation Parameters</u>			
Flame Emissivity:		95	Relative Humidity(%): 25
Heat of Combustion(kJ/kg)		18600	Ambient Temp(K): 308
Moisture Factor:		5	FDI: 80
<u>Program Outputs</u>			
Level of Construction:		BAL 12.5	Peak Elevation of Receiver(m): 12.47
Radiant Heat(kW/m2):		9.78	Flame Angle (degrees): 72
Flame Length(m):		26.23	Maximum View Factor: 0.169
Rate Of Spread (km/h):		3.39	Inner Protection Area(m): 43
Transmissivity:		0.76	Outer Protection Area(m): 17
Fire Intensity(kW/m):		61280	

Run Description:		Plot 3 Scrub >5-10	
<u>Vegetation Information</u>			
Vegetation Type:		Scrub/Tall Heath	
Vegetation Group:		Shrub & Heath	
Vegetation Slope:		10 Degrees	Vegetation Slope Type: Downslope
Surface Fuel Load(t/ha):		25	Overall Fuel Load(t/ha): 25
Vegetation Height(m):		3	Only Applicable to Shrub/Scrub and Vesta
<u>Site Information</u>			
Site Slope:		0 Degrees	Site Slope Type: Downslope
Elevation of Receiver(m):		3	APZ/Separation(m): 42
<u>Fire Inputs</u>			
Veg./Flame Width(m):		100	Flame Temp(K): 1090
<u>Calculation Parameters</u>			
Flame Emissivity:		95	Relative Humidity(%): 25
Heat of Combustion(kJ/kg)		18600	Ambient Temp(K): 308
Moisture Factor:		5	FDI: 80
<u>Program Outputs</u>			
Level of Construction:		BAL 12.5	Peak Elevation of Receiver(m): 7.75
Radiant Heat(kW/m2):		9.74	Flame Angle (degrees): 75
Flame Length(m):		15.97	Maximum View Factor: 0.163
Rate Of Spread (km/h):		8.31	Inner Protection Area(m): 42
Transmissivity:		0.784	Outer Protection Area(m): 0
Fire Intensity(kW/m):		107294	

Run Description: Plot 4 Scrub >0-5	
<u>Vegetation Information</u>	
Vegetation Type:	Scrub/Tall Heath
Vegetation Group:	Shrub & Heath
Vegetation Slope:	5 Degrees
Surface Fuel Load(t/ha):	25
Vegetation Height(m):	3
<u>Site Information</u>	
Site Slope:	0 Degrees
Elevation of Receiver(m):	3
Vegetation Slope Type:	Downslope
APZ/Separation(m):	37
<u>Fire Inputs</u>	
Veg./Flame Width(m):	100
Flame Temp(K):	1090
<u>Calculation Parameters</u>	
Flame Emissivity:	95
Heat of Combustion(kJ/kg)	18600
Moisture Factor:	5
Relative Humidity(%):	25
Ambient Temp(K):	308
FDI:	80
<u>Program Outputs</u>	
Level of Construction:	BAL 12.5
Radiant Heat(kW/m2):	9.9
Flame Length(m):	13.63
Rate Of Spread (km/h):	5.88
Transmissivity:	0.793
Fire Intensity(kW/m):	75988
Peak Elevation of Receiver(m):	6.64
Flame Angle (degrees):	77
Maximum View Factor:	0.164
Inner Protection Area(m):	37
Outer Protection Area(m):	0
Run Description: Plot 5 Scrub Flat	
<u>Vegetation Information</u>	
Vegetation Type:	Scrub/Tall Heath
Vegetation Group:	Shrub & Heath
Vegetation Slope:	0 Degrees
Surface Fuel Load(t/ha):	25
Vegetation Height(m):	3
<u>Site Information</u>	
Site Slope:	0 Degrees
Elevation of Receiver(m):	3
Vegetation Slope Type:	Level
APZ/Separation(m):	33
<u>Fire Inputs</u>	
Veg./Flame Width(m):	100
Flame Temp(K):	1090
<u>Calculation Parameters</u>	
Flame Emissivity:	95
Heat of Combustion(kJ/kg)	18600
Moisture Factor:	5
Relative Humidity(%):	25
Ambient Temp(K):	308
FDI:	80
<u>Program Outputs</u>	
Level of Construction:	BAL 12.5
Radiant Heat(kW/m2):	9.83
Flame Length(m):	11.63
Rate Of Spread (km/h):	4.17
Transmissivity:	0.801
Fire Intensity(kW/m):	53816
Peak Elevation of Receiver(m):	5.69
Flame Angle (degrees):	78
Maximum View Factor:	0.161
Inner Protection Area(m):	33
Outer Protection Area(m):	0



KEY

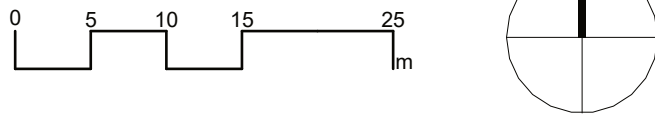


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 4. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS.

AREA SCHEDULE

BUSHFIRE ATTACK LEVEL (BAL)

- BAL-FZ
- BAL-40
- BAL-29
- BAL-19



Rev.	Purpose of Issue	Revised by	Date
A.01	For information issue	M.J.H.	10.10.25

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ABN 90 131 245 684



PROJECT NEW WOMEN & BABIES HOSPITAL WBH		
DRW SERIES 40	LEVEL 1	ZONE 100
DRAWING LEVEL 1 - BAL DIAGRAM		

DESIGNED ML	DRAWN FK	CHECKED ML	APPROVED JG
PROJECT DESIGN STAGE			ORIG. SIZE A1
COORDINATE SYSTEM PCG2020/ GDA 2020		VERTICAL DATUM AHD71	SCALE @ A1 As indicated
DRAWING No. NWB-ARC-WBH-AR-SK40-01-1000			REVISION A.01

1 LEVEL 01 - BAL DIAGRAM
SCALE: 1 : 500

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